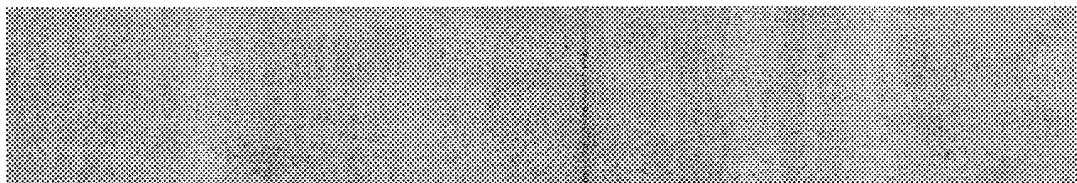




Roxburgh Park
URBAN LAND AUTHORITY

ROXBURGH PARK DEVELOPMENT GUIDELINES



OCTOBER 1995

HUME CITY COUNCIL

This Roxburgh Park Development Guidelines (Edition 4) has been endorsed as forming part of:

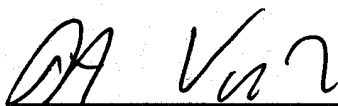
- the Roxburgh Park Local Structure Plan endorsed under the Merri Urban Development Zone.
- Permit No. 1062 issued on 28 August 1991 by the Shire of Bulla (Section A);
- Permit No. 1430 issued on 14 December 1992 by the Shire of Bulla (Section B);
- Permit No. 1831 issued on 21 June 1994 by the Shire of Bulla (Stage 4C);
- Permit No. 1917 issued on 21 September 1994 by the Shire of Bulla (Section C).

This edition of the Roxburgh Park Development Guidelines replaces all other previous editions of the same document. Any plan or document endorsed or approved to form part of a previous edition is deemed to be endorsed or approved to form part of this edition.

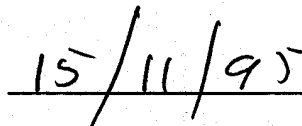
This endorsement is subject to the following.

The applicant has confirmed that separate summary development guidelines will be provided at the time of lot purchase to each purchaser as part of the contract documentation. The document will set out clearly and concisely the siting and design and other development principles and requirements in a manner intended to be easily understood by the purchaser. The document will also indicate that endorsement by the Urban Land Authority is required prior to any application for building permits.

Signed:


PETER VAN TIL
DEVELOPMENT SERVICES
MANAGER

Date:

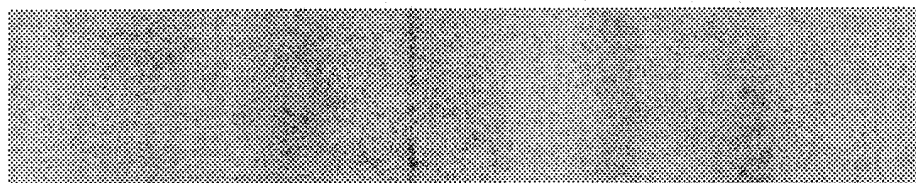

15/11/95



Roxburgh Park

URBAN LAND AUTHORITY

ROXBURGH PARK DEVELOPMENT GUIDELINES



**EDITION 4
OCTOBER 1995**



COLLIE
PLANNING AND
DEVELOPMENT

ROXBURGH PARK

SECTIONS A AND B

For the purposes of town planing permit numbers 1062 and 1430 issued by the Responsible Authority for the subdivision and residential development and use of Sections A and B (respectively), Roxburgh Park, this ***Roxburgh Park Development Guidelines*** is the ***Roxburgh Park Policy and Guidelines No. 1: House Siting and Design.***

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1.0 INTRODUCTION

These Roxburgh Park Development Guidelines deal with the planning and development of Roxburgh Park, a new suburb for about 25,000 residents in the City of Hume.

Roxburgh Park is being planned and developed by the Urban Land Authority (ULA).

The Guidelines include details on the approach to and implementation of a range of issues including:

- the Victorian Code for Residential Development;
- ULA endorsement;
- house siting;
- non-residential development siting;
- landscaping;
- fencing;
- signs.

The Guidelines have been prepared by the ULA to form part of the statutory planning approval for the development of Roxburgh Park.

2.0 VICTORIAN CODE FOR RESIDENTIAL DEVELOPMENT

2.1 INTRODUCTION

The provisions of the Bulla Planning Scheme apply to development and uses in Roxburgh Park. These provisions include the **Victorian Code for Residential Development: Subdivision and single dwellings (Vic Code)**.

The development standards to be adopted for Roxburgh Park are generally in accordance with Vic Code.

2.2 SUBDIVISION

The Bulla Planning Scheme requires that conditions on subdivision permits are not more restrictive than and do not conflict with the 'performance measures' for the following 'elements' of Vic Code.

- Element 1 Lot Size and Orientation.
- Element 5 Public Open Space.
- Element 9 Street Design.
- Element 10 Street Construction.
- Element 11 Utilities Provision.
- Element 12 Drainage Network.

The Scheme allows variations from other performance measures subject to approval from the responsible authority and provided objectives and performance criteria are met.

2.3 HOUSES

A planning permit is not required to develop or use a lot for a single house which complies with Part 4 of the Building Regulations 1994. Generally, these Regulations require compliance with Vic Code Element 2 (Building Siting and Design), Performance Measures 1 to 12; Element 3 (Private Open Space), Performance Measure 1 and Element 4 (Vehicle Parking), Performance Measures 1 and 2.

A building permit requires compliance with the Building Regulations 1994.

2.4 VIC CODE VARIATIONS APPROVED

The variations to the performance measures of the elements referred to above which are applicable in Roxburgh Park (as approved by the responsible authority by its endorsement of these Guidelines) are listed in Appendix A. VicCode and the variations in Appendix A do not apply to multi-dwelling or dual occupancy development.

3.0 ULA ENDORSEMENT

3.1 ENDORSEMENT REQUIREMENTS

The ULA requires via a Section 173 Agreement or as a condition in the contract of sale, that the developer of each lot must obtain the endorsement of the ULA for any buildings and structures (including fences and signs) or other works on the lot prior to seeking a building permit.

Plans require the endorsement of the ULA as complying with these Guidelines including any relevant Neighbourhood Design Plan (NDP).

The ULA endorsed plans have statutory status and lot owners are liable to legal action and costs if development is not in full compliance with them.

Request for endorsement must be accompanied by the following material:

- a completed Endorsement Request form;
- three site plans (drawn to scale and not reduced), fully dimensioned and showing all lot boundaries and the location of all proposed buildings;
- three sets (drawn to scale and not reduced) of building plans and elevations fully dimensioned.

A schedule of external finishes and colours may also be required at the discretion of the ULA.

Endorsement pursuant to a Section 173 Agreement or contract of sale is additional to and not in lieu of any State or Local Government planning or building approval requirements.

No building permit application can be considered by Council or private building surveyors without prior endorsement by the ULA.

3.2 ENDORSEMENT OF PLANS

Prior to the preparation of plans, applicants are invited to discuss with the ULA or its representative the siting and design principles to be considered in the preparation of plans for endorsement.

The plans will be assessed by the ULA to determine whether they comply with siting and design requirements as expressed in these Guidelines.

**ROXBURGH PARK DEVELOPMENT GUIDELINES
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Where plans meet the ULA requirements they will be **endorsed** and returned to the applicant.

Where plans require minor variations to meet the requirements they will be **conditionally endorsed** (subject to variations being made to the development) and returned to the applicant. A letter accompanying the plans will detail the required modifications.

Where plans meet the requirements of the ULA but require further consent from Hume City Council, they will be **provisionally endorsed** (subject to the applicant gaining consent from Hume City Council) and returned to the applicant. Copies of the plans will also be forwarded to Hume City Council.

Where plans do not meet the requirements of the ULA they will be returned to the applicant accompanied by a letter explaining the reasons they were not endorsed.

4.0 HOUSE SITING AND DESIGN

4.1 HOUSE SITING AND DESIGN PRINCIPLES

The house (including flats, medium density housing and residential buildings)/lot plans to be submitted to the ULA for endorsement must be prepared based on characteristics of good house/lot siting and design, including:

- main indoor living areas facing north;
- main outdoor living areas positioned on the north side of the house where possible;
- main outdoor living areas not located on the west or south side of the house;
- internal service areas (bathrooms and laundry) located on a non-north side of the house;
- service areas not located in the house plan to form a barrier between living rooms and north and east outdoor private open space areas;
- windows protected from the summer sun but having access to winter sun;
- large windows facing east have morning sun protection;
- large windows facing west are avoided but where there is no other choice, they have afternoon summer sun protection;
- building along the southern boundary of east-west lots provides more open space to the north;
- building along the side boundary of north-south lots protects privacy.

4.2 HOUSE SITING AND DESIGN REQUIREMENTS

Each house, house extension, outbuilding, fences along streets, other building or structure (except as exempted by the ULA) must be endorsed by the ULA as complying with the Roxburgh Park Local Structure Plan including these Roxburgh Park Development Guidelines and the NDP covering the lot, prior to application for a building permit or to construction.

Unless otherwise specified on the NDP, only one house is permitted on each lot.

Easements must be protected.

Except as may be varied by the ULA (and then only if any such variation does not require a planning permit or other consent from Hume City Council) as part of any endorsement, the following requirements apply.

- Frontage, side and rear setbacks and building heights must comply with the NDP.
- Buildings must not be constructed in the setbacks (indicated on the NDP) to any street reserve except for a garage or carport in the setback from a street reserve of 6 metres width or less developed as an access lane.

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- The development of houses is encouraged on the boundary where permitted under the NDP. A setback of 200 millimetres from the boundary is deemed to be on the boundary.
- Buildings may occupy up to 55 per cent of the site area on lots larger than 300 square metres and up to 60 per cent of the site area on lots of 300 square metres or less.
- Two storey houses should be constructed with the second storey closer to the lot frontage, to minimise direct overlooking and building bulk and should not extend further from the street frontage than a distance equal to the front set back plus 60 per cent of the depth of the lot.
- Outdoor space must be sited and designed to differentiate between the main private open space area for recreation and service areas.
- Private open space on a lot greater than 300 square metres in area is provided with a minimum area equivalent to 20 per cent of the lot area or 80 square metres (whichever is the greater) and:
 - the minimum dimension is 2.5 metres;
 - at least one part comprises an area of 25 square metres with a minimum dimension of 4 metres and has convenient access to a main living area.
- On lots 300 square metres or less in area, private open space is to consist of at least 40 square metres with one part having convenient access to a main living room and having an area of 25 square metres with a width of 3 metres.
- The external colours, materials and appearance of the house (including any buildings, driveways, fences or structures) may require endorsement by the ULA.
- The design, appearance and colours of outbuildings should be compatible with the house, as should the materials used.
- Buildings should be constructed predominantly of brick or other masonry except where design or development proposals warrant an alternative of timber or other material.
- Houses must be sited to enable the provision of at least two car parking spaces on site, at least one of which must be capable of being covered, all in accordance with VicCode and these Guidelines. Plans for house endorsement must specify the location, dimensions, driveway access and surface treatment proposed.
- Uncovered car spaces must have minimum dimensions 4.9 metres by 2.6 metres.
- Car spaces capable of being covered must have minimum dimensions of:
 - 5 by 3 metres for car ports;

- 6 by 3 metres (internal) for single garages;
- 6 by 5.5 metres (internal) for double garages.
- Garages and car ports, except where the opening is perpendicular to the street reserve, must be setback five metres from:
 - the frontage of a lot;
 - a side street (other than a lane) on a corner lot at least 15 metres.
- A garage of double width is discouraged on a lot of 10 metres width or less and endorsed only where it is integrated into the house design and where it does not dominate the streetscape.
- Vehicle access to lots will be in accordance with the NDP or as endorsed by the ULA.
- Driveways to all lots must have a minimum width of 3 metres and must be setback a minimum of 0.9 metre from every side boundary for the first 5 metres from the front boundary except where a lesser setback is warranted to align with an existing crossover.
- Driveways must be constructed by lot owners within 1 month of first occupation of the house.
- Rainwater tanks if proposed will be considered on merit.
- Solar collectors and air conditioning units must be placed so as not to cause visual intrusion to neighbours or from the street.
- All owners and occupants must control moisture variations and potential damage from tree roots and other vegetation in the vicinity of any adjoining building, particularly where such building is built to the boundary.

Except as varied above and in Appendix A, house siting and design must be in accordance with Element 2 (Performance Measures 1 to 12), Element 3 (Performance Measures 1) and Element 4 (Performance Measures 1 and 2) of VicCode.

4.3 NEIGHBOURHOOD DESIGN PLANS

A series of NDP has been prepared to cover areas of Roxburgh Park.

These NDP deal with house siting and design issues including:

- minimum building and height setbacks;
- easements;
- car parking;
- dual occupancy sites;

- mandatory building lines;
- vehicle access points.

For the purposes of Vic Code, a NDP is a 'streetscape plan' and 'building envelope plan'.

All endorsed NDP are included in Appendix B.

Development must be in accordance with the endorsed NDP.

4.4 PLANNING APPROVAL BY HUME CITY COUNCIL

As noted earlier, under the Bulla Planning Scheme a planning permit is not required to use a lot for a single house if the Vic Code performance measures of the following elements are met.

- Element 2 Building Siting and Design (as modified in Appendix A).
- Element 3 Private Open Space (as modified in Appendix A).
- Element 4 Vehicle Parking (performance measures 1 and 2 only)
(as modified in Appendix A).

If a performance measure is not met, a lot may be used for a single house if the Council considers that the proposed development meets the element objectives and performance criteria for that element.

4.5 BUILDING PERMIT

A building permit is required in accordance with the Building Regulations 1994. Non compliance with VicCode.

- Element 2 Performance Measure 1 to 12.
- Element 3 Performance Measure 1.
- Element 4 Performance Measures 1 and 2.

requires the consent of Hume City Council.

4.6 SUMMARY

A summary of the guidelines for House Siting and Design is contained in Appendix C.

5.0 NON-RESIDENTIAL DEVELOPMENT SITING AND DESIGN

5.1 GENERAL

The Bulla Planning Scheme requires that a planning permit is obtained for many non-residential land uses.

Some non-residential land uses in Roxburgh Park do not require a planning permit provided the site is:

- identified for the use in the Roxburgh Park Local Structure Plan;
- within an Activity Centre designated in the Roxburgh Park Local Structure Plan; or
- identified for the use and is within an Activity Centre designated in the Roxburgh Park Local Structure Plan.

A list of the uses that may not require a planning permit is contained in the Bulla Planning Scheme (Clause 120A-1). In most cases (even if a planning permit is not required), a plan or plans showing the proposed layout, elevations, dimensions, car parking, access and landscaping is required to be approved to the satisfaction of the responsible authority.

5.2 NON-RESIDENTIAL DEVELOPMENT SITING AND DESIGN PRINCIPLES

Non-residential development plans to be submitted to the ULA for endorsement must be prepared to ensure that the location, siting and design:

- is consistent with the objectives, policies and land use intentions contained in the Roxburgh Park Local Structure Plan;
- is generally suitable for and compatible with the area;
- is sympathetic to the protection of the reasonable amenity of existing and proposed neighbouring residential and non-residential developments;
- provides for ease of pedestrian and vehicle access and movement;
- provides appropriate off-street car parking;
- is sympathetic to an attractive streetscape and does not create unacceptable building bulk and visual intrusion;
- is in keeping with the objective of a high quality design environment and character for Roxburgh Park.

5.3 NON-RESIDENTIAL DEVELOPMENT SITING AND DESIGN REQUIREMENTS

Each non-residential development including buildings, structures and works, must be endorsed by the ULA as complying with the Roxburgh Park Local Structure Plan including these Roxburgh Park Development Guidelines.

Except as may be varied by the ULA (and then only if any such variation does not require a planning permit from Hume City Council) as part of any endorsement, the following requirements apply.

- The development is generally in accordance with the approved Roxburgh Park Local Structure Plan, these Roxburgh Park Development Guidelines and with any Development Plan approved by Hume City Council.
- Frontage, side and rear setbacks and building heights must comply with the relevant NDP.

Buildings must not be constructed in the setbacks (indicated on the NDP) to any street reserve with the exception of.

5.4 SUMMARY

A summary of the guidelines for non-residential development is contained in Appendix D.

6.0 LANDSCAPE

6.1 PUBLIC PLACES

The ULA has a Comprehensive Landscape Program for all of Roxburgh Park which deals predominantly with public places and includes the planting of thousands of trees.

The principle objective is to create a sustainable, easily managed and attractive landscape throughout Roxburgh Park.

The Comprehensive Landscape Program outlines the landscape treatment for:

- main entrances into Roxburgh Park, arterial roads and local streets;
- parks and recreation areas;
- walking/cycling paths;
- various aspects of landscape staging and maintenance.

The ULA proposes the use of indigenous and exotic plant species to form tree lined avenues and public open spaces of shady, sheltered areas with an open woodland character.

Distinct, identifiable landscape themes will be created for different landscape precincts. The themes form a basis for planting patterns within private lots and will assist to create a unified landscape character throughout Roxburgh Park.

6.2 PRIVATE LAND

These Roxburgh Park Development Guidelines, in respect of landscaping, are concerned predominantly with privately-owned land. The Guidelines include information and requirements about a variety of landscape-related issues including:

- local environmental conditions;
- water consumption;
- drainage;
- privacy, shade and sunshine;
- utility services;
- recommended plants;
- lawns;
- nature strips;
- planting techniques.

Owners must landscape gardens in public view within six months of occupation of a building on the lot.

6.2.1 Local Environmental Conditions

The success of any garden depends upon choosing plants that grow well in the local soils and which will suit the local climate.

Roxburgh Park has two main soil types.

Basalt soils cover most of Roxburgh Park. The soil is generally a dark grey heavy clay which is likely to crack during dry summer months and become heavy and expand during wetter winter months.

Granite soils are found in the south-west of Roxburgh Park around the historic homestead and the surrounding elevated area. The soil is generally gravelly with a gravel-clay subsoil and does not hold water very well. Granite boulders are common and where possible, should be retained in garden designs to create interesting features in keeping with natural conditions in the area.

Roxburgh Park generally experiences a climate similar to the rest of Melbourne. Average yearly rainfall (663 millimetres), however, is slightly less than the Melbourne average (691 millimetres) and strong north-westerly summer winds and south-westerly winter winds can affect exposed locations at Roxburgh Park.

6.2.2 Water Consumption

Excessive water consumption can be costly and is wasteful. There are simple and relatively inexpensive ways of minimising the amount of water used around the garden including:

- minimising lawn areas;
- maximising the use of hardy native plants;
- using watering systems to control the time and length of watering;
- deep, regular soaking's (rather than quick, light watering which tends to run off and dries out quickly);
- mulching with compost, shredded wood mulch, bark / wood chips or straw, to deter weeds and conserve moisture around trees and plants (particularly on the granite soils);
- contour sloping areas to retain or capture water by using terracing, retaining walls, underground slotted pipes, surface swales or terracotta/brick gutters;
- planting native plants in autumn when less watering will be required.

6.2.3 Drainage

Landscaped areas should be designed to drain appropriately to avoid water-logging, especially on basalt soils.

Paving on sand and mortar allows water to seep into the ground and is preferred to large areas of concrete.

6.2.4 Privacy, Shade and Sunshine

A screen of attractive trees and shrubs helps to increase privacy and hide service areas such as car parks, loading areas, car-ports/garages, clothes lines, rubbish bins and so on. Trees also provide protection from strong winds.

Whilst native trees and shrubs are generally fast growing (especially those species indigenous to the area), the careful selection and placement of deciduous trees helps to provide shade in summer and sun in winter.

6.2.5 Utility Services

It is the responsibility of every lot owner/occupier to be aware of the location of any underground services before excavating for any purpose. Digging in the wrong place could result in costly repairs.

Lot owners/occupiers should contact the *Melbourne - One call* line by telephoning 1100 to determine the location of service lines for:

- Telecom;
- Gas and fuel;
- Solaris Power (electricity);
- Melbourne Water (sewer, stormwater drains, water mains).

Trees should not be planted above sewer and stormwater lines.

Solaris Power requires that suitable species of plants be located in close proximity to overhead power lines to prevent contact between trees and power lines. The booklet **Guide to Tree Planting Near Power Lines**, provides advice on planting in the vicinity of overhead power lines.

6.2.6 Recommended Plants

Native plants are most likely to thrive at Roxburgh Park because they are well adapted to the local conditions. Plants from the Mediterranean and South Africa or similar areas are likely also to grow well. Exotic plants, especially shrubs, will sometimes require special soil conditions.

When selecting trees, lot owners/occupiers should remember to:

- check the mature height and breadth of the tree species before planting;
- plant trees where they are able to grow to full maturity;
- plant trees away from any house and not allow branches to overhang houses - they can damage house foundations and roofs and create a fire hazard;

- plant in stages - beginning with taller trees and shrubs then smaller shrubs and groundcover.

The ULA recommends that lot owners/occupiers select plants suitable for Roxburgh Park soils and climate, from the species listed in Appendix E.

6.2.7 Lawns

It is necessary to prepare soil properly before planting lawn seed. The soil structure can be improved by adding about two kilograms of gypsum per square metre dug into the soil to a depth of about 100 millimetres. Additional sandy loam will improve further the structure of basalt soils and will assist drainage and encourage root development.

While lawn seed is germinating, the ground should be kept damp and use of a good fertiliser is recommended.

A suggested mixture of lawn seed for Roxburgh Park includes creeping red fescue, fine leaf rye and Victorian bent. This mixture will cope with shade and sun and is suited to the local soil and climate.

6.2.8 Nature Strips

Nature strips which are grassed and planted with single specimen trees only, create an effective, coordinated and manageable linear space.

The ULA plants street trees throughout Roxburgh Park in accordance with its Comprehensive Landscape Program and overall planting scheme. If a tree dies it is replaced with a tree of the same species.

Using seeded lawn on the naturestrip will provide visual continuity to the streetscape and will add to the appearance of houses. In this regard, property owners are encouraged to complete landscaping of the area of the nature strip adjacent to their property.

6.2.9 Planting Techniques

Good planting techniques will help to establish a successful landscaped garden at Roxburgh Park. The suggestions following are a guide only and may vary, depending on individual circumstances.

- Avoid planting in summer and winter extremes - autumn planting requires less follow-up watering and is the best time to plant most natives.
- Deciduous plants should be planted in winter and early spring.

- Before planting, the soil should be rotary hoed and two kilograms of gypsum per square metre added.
- The soil should be moistened slowly before digging a hole slightly wider and deeper than the container holding the plant.
- After planting, a small amount of slow release fertiliser should be added and the plant should be staked on the windward side.
- Trees and shrubs should be planted preferably from plastic pots or bags because they have stronger roots, compared with bare-rooted plants.
- Bare-rooted plants, such as fruit trees or roses, should not be left to dry out before planting.
- Native plants grown in tubes will grow more strongly and quickly than larger native plants.
- Plants should be shaped by pruning to remove unwanted growth - evergreens should be pruned after they have flowered and deciduous shrubs should be pruned when leafless.
- Some plants, such as roses and azaleas, need specific alkaline/acid levels in the soil and should have special horticultural products added at prescribed rates.
- The garden should be fertilised periodically - compost is an excellent cheap source of nourishment for plants.

6.2.10 Summary

A summary of the guidelines for Landscaping is contained in Appendix F.

7.0 FENCES

7.1 GENERAL

Fencing can have a major influence on appearance and aesthetic quality and thus should be designed and constructed to be compatible with the character of the area. The principle objective of fencing guidelines for Roxburgh Park is to create an urban area with fencing that is sympathetic to the intended open neighbourhood character of the suburb, the building design and the character of the street.

Fencing is not allowed within the specified minimum setback of buildings from street reserves unless special circumstances exist or as exempted below.

Endorsement will only occur where one or more of the following circumstances exist:

- the proposed fence is on a boundary shared with public open space, a tree reserve or a non-residential land use (other than a street reserve);
- the lot is part of a special housing area such as terraces or similar;
- the fence is between a building line and a street reserve and encloses principal private open space as detailed below.

Endorsement for any fence will not occur where buildings on the land have not been endorsed or are not part of a combined fence/building endorsement request.

Endorsement will normally require a feature fence.

A schedule of external finishes and colours may also be required at the discretion of the ULA.

Fencing within Roxburgh Park is the responsibility of lot purchasers except that generally the ULA constructs fences on lot boundaries which abut:

- public open space;
- tree reserves;
- arterial roads.

7.2 FENCING PRINCIPLES

Fencing objectives for Roxburgh Park include:

- the policy not to have fences within the specified minimum setback of buildings from street reserves unless special circumstances exist;

- the design and height of any proposed fence being compatible with adjacent buildings and the local streetscape;
- appropriate fencing materials (with timber preferred whilst brick fencing is not recommended because of soil conditions that encourage lightly loaded and shallow footings to crack);
- suitable colour of fences (generally to be in keeping with the colours of the associated building and the streetscape).

7.3 FENCES IN STREET RESERVE SETBACKS

In order to achieve an open streetscape, fences between any building line and any street reserve are not normally allowed.

Where the ULA determines that special circumstances warrant endorsement of a fence between any building line and any street reserve, the following provisions will normally apply:

- any fence must be of a height and design that takes into account the amenity and character of the street, the design and appearance of the associated building, surveillance and safety;
- on corner lots a fence will only be endorsed within one street reserve setback;
- any fence between any building line and any street reserve must be a feature fence (pickets, paling with exposed posts and capping or equivalent) endorsed by the ULA;
- any fence in the frontage setback will only be considered for endorsement where the lot is:
 - a north-south lot on the south side of the street and a house on the lot has been designed and endorsed with predominantly its kitchen, family and other living rooms facing north; and
 - the living rooms being adjacent to and having convenient access to the principal open space (of minimum dimensions 4 metres) located in the setback between the house and its northern front boundary;
- any fence on the side street boundary of a corner lot will only be considered for endorsement where a house on the lot has been designed and endorsed with its kitchen, family room and other living rooms facing the side street and being adjacent to and having convenient access to the principal private open space (of minimum dimension 4 metres) in the setback between the house and its side road boundary.

7.4 SIDE AND REAR FENCES

Between lots, side fences from the rear boundary to the front building line and rear fences, do not require ULA endorsement provided they do not exceed 2 metres in height.

Between lots, side fences from the front building line (or one normal fence panel width forward of the building line) to the street reserve do not require ULA endorsement provided they do not exceed 1 metre in height.

Side fences which also form the rear fence of an adjacent corner lot will be considered as side fences for endorsement purposes.

Side fences which may be endorsed other than as noted above are those which complete a fenced private courtyard endorsed under the 'Fences in Street Reserve Setbacks' above.

7.5 OTHER FENCES

All house lot fencing adjacent to public open space or tree reserves on arterial roads, will be erected by the ULA in accordance with the Comprehensive Landscape Program for Roxburgh Park. Such fencing will be high quality feature fencing. The equivalent half cost of a standard paling fence will be recovered from abutting lot owners.

Buildings should not be constructed so as to require the removal or modification of any such existing (or proposed) feature fence adjacent to public open space or along tree reserves abutting arterial roads.

7.6 SUMMARY

A summary of the guidelines for fences is contained in Appendix G.

8.0 SIGNS

8.1 GENERAL

Signs can have a major influence on appearance and aesthetic quality and thus should be compatible with the character of the area.

The sign guidelines for Roxburgh Park seek to ensure that any sign is of a size and type appropriate to the character of the suburb.

The ULA requires via a Section 173 Agreement or as a condition in the contract of sale that the developer gain the endorsement of the ULA for most signs on a lot. Some signs do not require ULA endorsement (a list of any such exempt signs is available from the ULA).

A building permit may also be required and the onus is on the applicant to ascertain any such requirements.

One temporary sign may be erected and be on a lot at any one time without the endorsement of the ULA, provided that it is not an animated or internally illuminated sign and it is either:

- a sign related to the construction of building on the lot on which the sign is displayed (for example, the name of the builder) where the sign is no larger than 915 millimetres by 610 millimetres in size and is removed within seven days of completion of construction; or
- a sign publicising the sale of a property on which it is displayed where the sign is no larger than 1830 millimetres by 915 millimetres (with the long axis of the sign being vertical) and is removed within seven days of the signing of the contract of sale.

8.2 ULA ENDORSEMENT OF SIGNS

When considering whether or not to give its endorsement the ULA will have regard to:

- the effect of the sign on the amenity of the area, including the need to avoid visual disorder or clutter of signs;
- the effect of the sign on the built environment or the landscape, with particular thought to its effect on any objects of scenic, historic, architectural, scientific or cultural interest;
- the need for identification and the opportunities for adequate identification on the site and nearby;
- the advertising pattern and theme in the area and the number of signs of the same type;
- the effect of the sign on existing signs;
- the size and likely impact of the sign having regard to the size of the premises on which it is to be displayed and the scale of surrounding buildings;

- the effect of the sign on the safety, warning and security of premises and public areas;
- the effect of the sign on the appearance and efficiency of a road, railway, waterway or other public way, having particular regard to the sign's colour, brightness and location.

8.3 SUMMARY

A summary of the guidelines for signs is contained in Appendix H.

APPENDIX A

VARIATIONS TO THE VICTORIAN CODE FOR RESIDENTIAL DEVELOPMENT: SUBDIVISION AND SINGLE DWELLINGS

APPENDIX A VARIATIONS TO THE VICTORIAN CODE FOR RESIDENTIAL DEVELOPMENT: SUBDIVISION AND SINGLE DWELLINGS

The Bulla Planning Scheme requires for subdivision approval that 'Performance Measures' for the following 'Elements' of Vic Code must be met.

- Element 1 Lot Size and Orientation.
- Element 5 Public Open Space.
- Element 9 Street Design.
- Element 10 Street Construction.
- Element 11 Utilities Provision.
- Element 12 Drainage Network.

The Planning Scheme allows for variations from other performance measures through a permit or other approval from the responsible authority, provided the element objectives and performance criteria are met.

A permit is not required to develop or use a lot for a single house which complies with Part 4 of the Building Regulation 1994 which requires in particular, compliance with the Performance Measures of VicCode as follows.

- Element 2 (Building Siting and Design); Performance measures 1 to 12.
- Element 3 (Private Open Space); Performance Measure 1.
- Element 4 (Vehicle Parking); Performance Measures 1 and 2.

The following variations to the performance measures of the elements referred to above are applicable and have been approved by Hume City Council for Roxburgh Park.

A.1 ELEMENT 1: LOT SIZE AND ORIENTATION

A.1.1 Performance Measure 2

As varied in approved Neighbourhood Design Plans.

A.2 ELEMENT 2: BUILDING SITING AND DESIGN

A.2.1 Performance Measure 5

As for Vic Code except that on lots less than or equal to 300 square metres in area, buildings may occupy a maximum of 60 per cent of the site area.

A.2.2 Performance Measure 7

As varied in the table below and in NDP.

STREET SETBACKS		Setback from Frontage (metres)			
Street Type	Frontage to south boundary	Frontage to west boundary	Frontage to north boundary	Frontage to east boundary	
Access place (less than 80 vehicles per day (vpd))	3	3	4	3	
Access place (80 vpd to 300vpd)	3	4	4	4	
Access street (301 vpd to 1000vpd)	3	4	4	4	
Access street (1001 vpd to 2000vpd)	4	4	4	4	
Collector street (2001 vpd to 3000 vpd)	4	4	4	4	
Trunk collector (3001 vpd to 6000 vpd)	5	5	5	5	
Attached houses	3	3	3	3	

On any NDP the figure beside each lot boundary represents the minimum required house setback from that property boundary. In the case of streets, the minimum required setback relates to all buildings.

A house that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a street reserve. Where the specified setbacks from street reserves are the same, the house must be sited with its frontage being the boundary marked 'F'.

A house that is not constructed on a property boundary must be setback at least 1 metre from the boundary.

A.2.3 Performance Measure 8

As for Vic Code except for lots included in NDP 5.1, 5.2, 5.3, 5.4A, 5.4B, 5.5A, 5.5B, B4.6, B4.7, B4.8, B4.9, where the NDP includes additional siting requirements.

A.2.4 Performance Measures 9 and 10

Houses and outbuildings may be built to the boundary under the following conditions:

- a maximum building height of 3.6 metres (except for boundaries marked with the symbol ● where the maximum external wall height is 9 metres) on and within 1 metre of the boundary;
- a maximum of 20 metres total wall length (including carports) along a side or rear boundary (except for boundaries marked with the symbol ●).

A setback of 200 millimetres from the boundary is deemed to be on the boundary.

A.3 ELEMENT 3: PRIVATE OPEN SPACE

A.3.1 Performance Measure 1

As for Vic Code except that on lots less than or equal to 300 square metres in area, private open space is to consist of a ground level area totalling at least 40 square metres with one part conveniently accessible from a major living area of the dwelling and having a minimum area of 25 square metres with a minimum dimension of 3 metres.

A.4 ELEMENT 4: VEHICLE PARKING

A.4.1 Performance Measure 2

Minimum dimensions for spaces within garages (with entry from the end) to be 5.5 metres by 3 metres for a single garage and 5.5 metres by 5.5 metres for a double garage (measured internally).

A.4.2 Performance Measure 5

Vehicle kerb crossovers to be in accordance with Hume City Council standards (3 metres at the building line and 3.6 metres at the back of the kerb).

A.4.3 Performance Measure 7

Garages and carports to be set back a minimum of 5 metres from the frontage except where the garage or carport opening is perpendicular to the frontage. The roofs, eaves or canopy may project to align with the dwelling front. The design of the garage or carport should be compatible with that of the dwelling.

A.4.4 Performance Measure 8

Varied as above and below (PM7 and PM9).

A.4.5 Performance Measure 9

Garages and carports must be located on or behind the building line of a side street or the lot boundary abutting an access lane, except for lots of width at least 15 metres where garages and carports must be setback 5 metres from a side street unless the garage or carport opening is perpendicular to the side street boundary.

A.5 ELEMENT 9: STREET DESIGN

A.5.1 Performance Measure 1

Carriageway widths for each type of street as specified in Table E9-1 (Vic Code) except as varied in permits or endorsements.

A.5.2 Performance Measure 2

Parking provision within the street reserve as specified in Table E9-1 (Vic Code) except as varied in permits or endorsements.

A.5.3 Performance Measure 3

Kerbing as specified in Table E9-1 (Vic Code) except that upright kerb may be used adjacent to open space reserves for all street types.

A.5.4 Performance Measure 4

Pedestrian and cyclist facilities of the type and dimensions specified in Table E9-1 (Vic Code) except as varied in permits or endorsements.

A.5.5 Performance Measure 5

Minimum verge widths for each street type as specified in Table E9-1 (Vic Code) except as varied in permits or endorsements.

A.5.6 Performance Measure 13

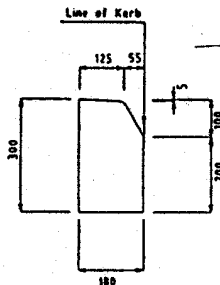
Single driveway crossover lengths to be 3.6 metres in width.

A.6 ELEMENT 10: STREET CONSTRUCTION

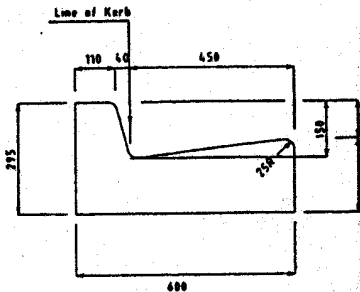
A.6.1 Performance Measure 5

Pavement edge profiles as specified in Table E10-1 (Vic Code) and as varied below.

A.6.1.1 Upright Barrier Kerbs

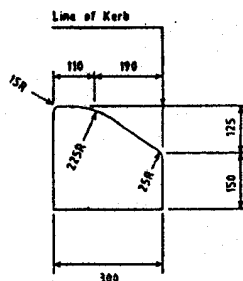


B1 - STANDARD KERB

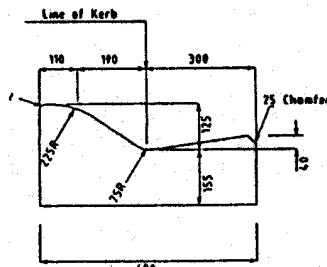


B7 - STANDARD KERB & CHANNEL

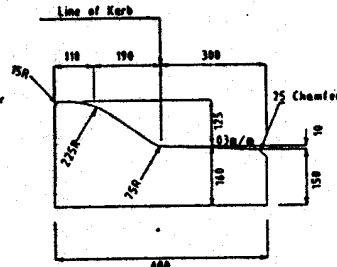
A.6.1.2 Layback Kerbs - semi-mountable



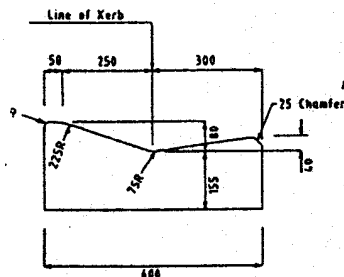
SM1



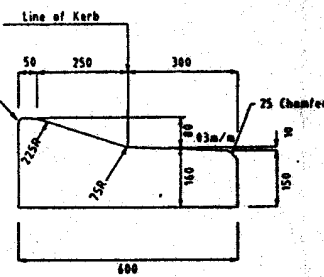
SM2



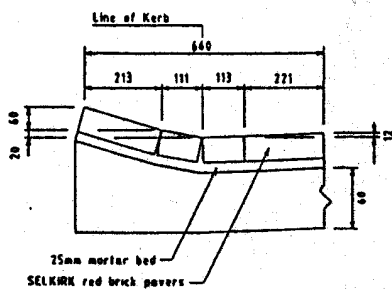
SM3



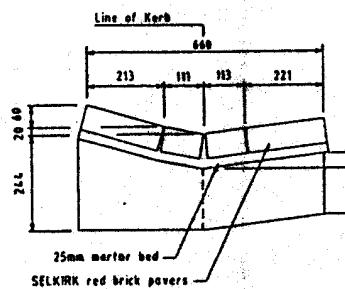
SM2(M)



SM3(M)

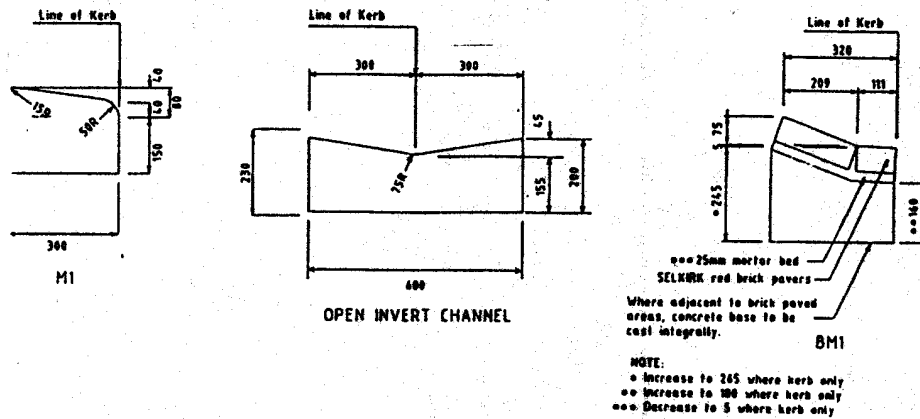


BSM2(M) - T1



BSM2(M) - T2

A.6.1.3 Layback Kerbs - mountable



A.6.2 Performance Measure 7

As varied in Element 9, Performance Measure 13.

APPENDIX B

NEIGHBOURHOOD DESIGN PLANS

APPENDIX B

NEIGHBOURHOOD DESIGN PLANS

B.1 SECTION A

The Neighbourhood Design Plans as a set form Plan 5 in the series of planning permit plans for Section A. The other plans in the series include:

- Subdivision Plan (Plan 1);
- Lot Size Distribution Plan (Plan 2)
- Roads, Parking, Paths and Staging Plan (Plan 3);
- Comprehensive Landscape Program Plan (Plan 4).

Each Neighbourhood Design Plan for Section A is numbered to reflect:

- the planning permit plan series number (5);
- the Roxburgh Park stage number.

Thus, in Section A, Neighbourhood Design Plans are numbered 5.1 (stage 1), 5.2 (stage 2) and so on.

This plan has been approved to form part of the Roxburgh Park Development Guidelines document.

Signed:

Shard Tumbull

David A. Turnbull
Director of Planning & Development

Date:

25.11.94



STATUTORY PROVISIONS

The provisions of the Bulsa Planning Scheme apply to development and uses in Roundhay Park. These provisions exclude the Victorian Code for Residential Development Subdivision and single dwellings, only some of which are repeated below.

prior to application for a building permit as plans must be endorsed by the Urban Land Authority (ULA) as complying with the *Roadburn Park Development Guidelines* and in particular this Neighbourhood Design Plan.

The ULA may endorse a development which varies from the specific requirements provided its general intent is met. No such varied development shall be endorsed by the ULA if it requires an additional planning permit or other approval from the responsible authority under the Bula Planning Scheme if that permit or other approval has not been granted.

What permit or other approval has not been granted

MINIMUM BUILDING STACKS

The figure beside each lot boundary represents the minimum required dwelling setback from that property boundary. In the case of frontages and side boundaries that abut a street the minimum required setback applies to all buildings.

its frontage being the boundary marked F.

HEIGHT AND BUILDING SITING
Buildings with a maximum height of 12 metres and external wall height exceeding 1.5 metres shall be setback from side or rear boundary by at least 1 metre from the boundary.

height complying with the following

HEIGHT AND BUILDING SITTING

- 1 metre minimum height for walls up to 3.6 metres in height unless the wall is built to the boundary.
- For that part of the wall over 3.6 metres in height a minimum setback of 1 metre plus 0.3 metres in height 1 metre or height over 3.6 metres up to be height 6.9 metres.
- For that part of the wall over 6.9 metres in height a minimum setback of 1 metre for every 1 metre of height.

12m
Carriageway

1m plus 0.5m for each side of sectional height

1m
Parking shoulder

In the case of a lot boundary marked with the symbol A, all buildings must have a maximum height of 12 metres and an external wall height complying with the following setbacks from side or rear boundaries:

- 1 metre minimum setback for walls up to 3.6 metres in height unless the wall is built to the boundary;
- for that part of the wall over 3.6 metres in height, a minimum setback of 1 metre plus 0.1 metre for each 1 metre of height over 3.6 metres, up to a height of 4.2 metres;
- for that part of the wall over 4.2 metres in height, a minimum setback of 1 metre for every 0.5 metre of additional height.

10

IVE

10

ROXBURG
STAGE 1

NEIGHBOURHOOD
DESIGN
PLAN
PLAN EDITION :

**ROXBURGH PARK
STAGE 1 PLAN**
NEIGHBOURHOOD
DESIGN
PLAN

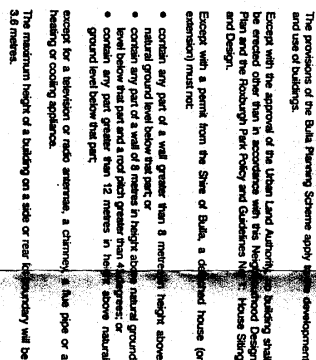
5.1

PLAN EDITION : 1-

14 NOVEMBER 1994

URBAN LAND AUTHORITY

IMPROVED LATEX AIRTIGHTNESS



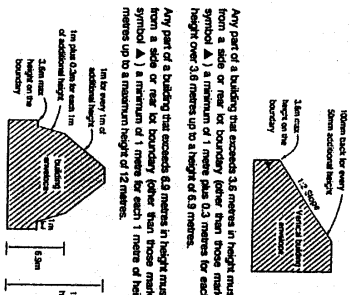
The figure beside each property boundary represents the minimum required setback from that property boundary. In the case of frontlots the minimum required setback relates to all buildings.

A dwelling that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a road reserve. Where the specified setbacks from road reserves are the same, the dwelling must be sited with its frontage being the boundary marked 'P'.

A dwelling that is not constructed on a property boundary must be sited at least 1 metre from the boundary.

Except with the approval of the relevant servicing authority, no buildings are to be constructed on or adjacent to easements.

Any part of a building that exceeds 2.6 metres in height must be setback: at least 10 metres from the boundary; and at least 100 millimetres for every 50 millimetres of additional height.



Any part of a building that exceeds 6.5 metres in height must be setback from a side or rear lot boundary (other than those marked with the symbol Δ) a minimum of 1 metre plus 0.3 metres for each 1 metre of height over 6.5 metres up to a maximum height of 12 metres.

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

- 1.5 meters wide assessment.
2 meters wide assessment.
3 meters wide assessment.
Seachuck minima required.
4
Dwelling envelope and lot number.

All dimensions are shown in metres.

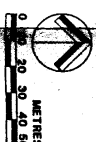
**ROXBURGH PARK
STAGE 4B
NEIGHBOURHOOD
DESIGN
PLAN**

5.4B

PLAN EDITION 2 : 6 AUGUST 1993

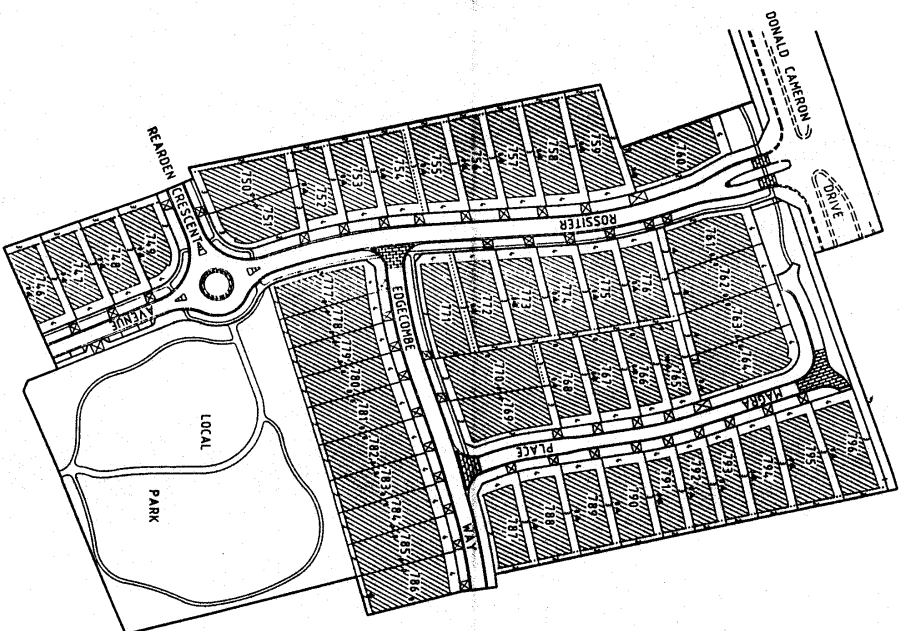
This plan has been approved to form part of "Roxburgh Park Policy & Guidelines No.1: House Siting & Design" document.

David Turnbull
DAVID A TURNBULL
DIR. OF PLANNING DEV.
12 AUG 1993
DATE



RODAUGH
P.A.R.K

ROXBURGH
P.A.R.K.



The provisions of the Buls Planning Scheme apply to the development and use of buildings.

Except with the approval of the Urban Land Authority, no building shall be erected other than in accordance with the Foxburgh Park Neighbourhood Design Plan and the Foxburgh Park Policy and Guidelines, Part 1: House Siting and Design.

Except with a permit from the State of Buls, a detached house for extending must not:

- contain any part of a wall greater than 8 metres in height above natural ground level below the part; or
- contain any part of a wall of 8 metres in height above natural ground level below the part and a roof pitch greater than 30 degrees; or
- have any part of a wall greater than 12 metres in height above natural ground level below the part.

except for a television or radio antenna, a chimney, a blue pipe or a heating or cooling appliance.

The maximum height of a building on a site or residential boundary will be 3.6 metres.

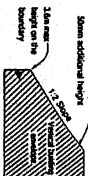
The figure beside each property boundary represents the minimum required dwelling setback from that property boundary. In the case of lot frontages the minimum required setback relates to a building.

A dwelling that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a road reserve.

A dwelling that is not constructed on a property boundary must be setback at least 1 metre from the boundary.

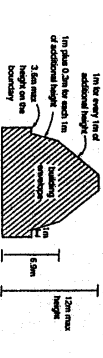
Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements.

Any part of a building that exceeds 3.6 metres in height must be setback from a lot boundary marked with the symbol A 100 millimetres for every 50 millimetres of additional height.



Any part of a building that exceeds 3.6 metres in height must be setback from a side or rear lot boundary (other than those marked with the symbol A) a minimum of 1 metre plus 0.2 metres for each 1 metre of height over 3.6 metres up to a height of 6.9 metres.

Any part of a building that exceeds 6.9 metres in height must be setback from a side or rear lot boundary (other than those marked with the symbol A) a minimum of 1 metre plus 0.2 metres for each 1 metre of height over 6.9 metres up to a maximum height of 12 metres.



Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

2 metres wide easement.

3 metres wide easement.

Setback minima required.

Dwelling envelope and lot number.

MO

Dwelling

Building

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

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Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

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Means any structure including a carport, garage, house and shed.

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Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

Means a house.

Means any structure including a carport, garage, house and shed.

FOXBURGH PARK
STAGE 5B PLAN
NEIGHBOURHOOD
DESIGN
PLAN

PLAN EDITION 1 : 22 APRIL 1993

5.5B

This plan has been approved to form part of Foxburgh Park Policy & Guidelines No. 1: House Siting & Design document.

CLIFFORD J. TURNBULL
DIR. PLANNING & DEVELOPMENT
18 MAY 1993



URBAN LAND AUTHORITY

B.2 SECTION B

The Neighbourhood Design Plans as a set form Plan 4 in the series of planning permit plans for Section B. The other plans in the series include:

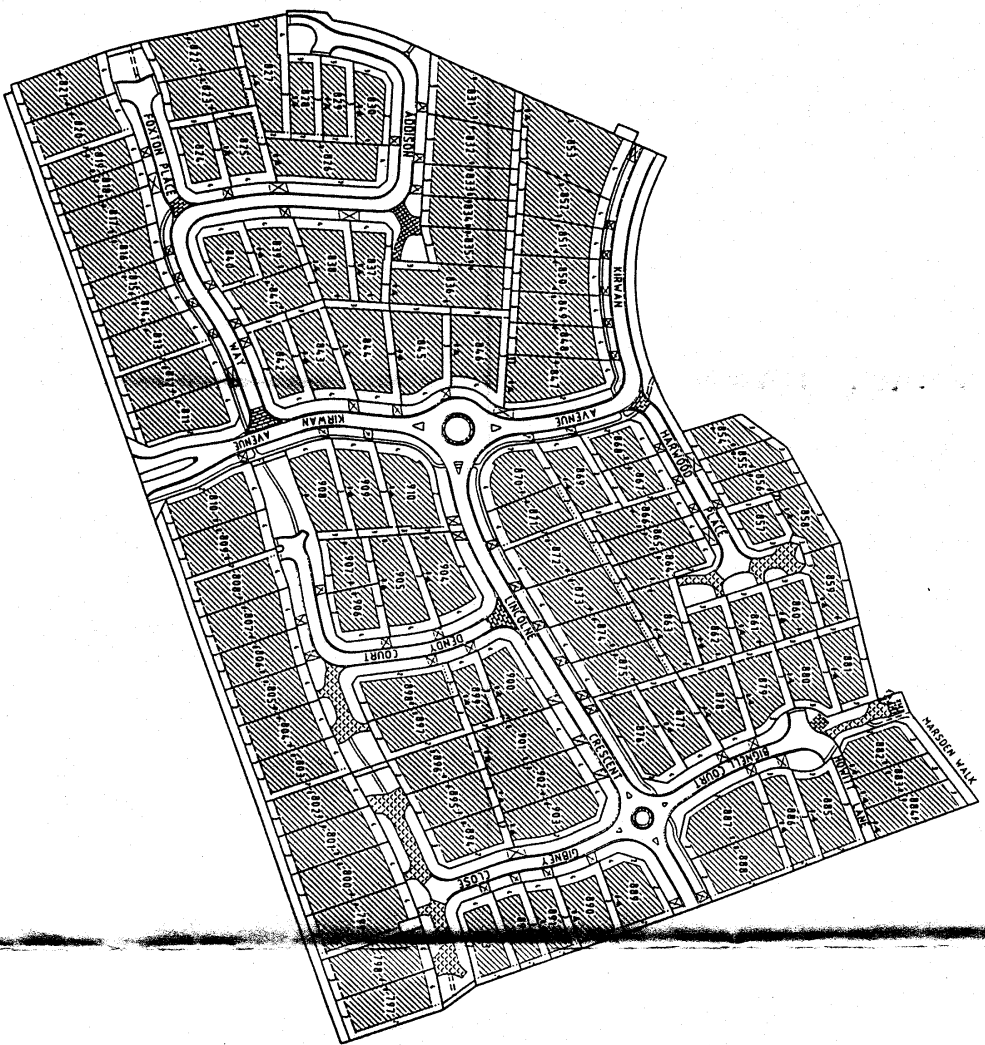
- Subdivision Plan (Plan 1);
- Roads, Parking, Paths and Staging Plan (Plan 2);
- Comprehensive Landscape Program Plan (Plan 3).

Each Neighbourhood Design Plan for Section B is numbered to reflect:

- the section in which the land is located (B);
- the planning permit plan series number (4);
- the Roxburgh Park stage number.

The first stage in Section B is Stage 6.

Thus, in Section B, Neighbourhood Design Plans are numbered **B4.6** (stage 6), **B4.7** (stage 7) and so on.



The provisions of the Bulle Planning Scheme apply to the development and use of buildings.

Except with the approval of the Urban Land Authority, no building shall be erected other than in accordance with the background Design Plan and the Roxburgh Park Policy and Guidelines No. 1: House Siting and Design.

Except with a permit from the State of Bulle, a detached house (or extension) must not:

- contain any part of a wall greater than 8 metres in height above ground level below that part, or
- contain any part of a wall greater than 12 metres in height above ground level below that part and a roof pitch greater than 15 degrees; or
- contain any part greater than 12 metres in height above natural ground level below that part.

except for a television or radio antenna, a chimney, a flag pole or a heating or cooling appliance.

The maximum height of a building on a side or rear lot boundary will be 8.9 metres.

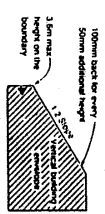
The figure beside each property boundary represents the minimum required dwelling setback from the property boundary. In the case of frontages the minimum required setback relates to all buildings.

A dwelling that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a road reserve. Where the specified setbacks from road reserves are the same, the dwelling must be sited with a frontage being the boundary marked 'r'.

A dwelling that is not constructed on a property boundary must be setback at least 1 metre from the boundary.

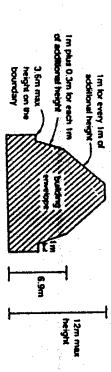
Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements. Buildings shall be constructed so that they do not adversely affect pipes in nearby easements.

Any part of a building that exceeds 3.6 metres in height must be setback from a lot boundary marked with the symbol ▲ 100 millimetres for every 50 millimetres of additional height.



Any part of a building that exceeds 3.6 metres in height must be setback from a lot boundary marked with the symbol ▲ 100 millimetres for every 50 millimetres of additional height.

Any part of a building that exceeds 6.9 metres in height must be setback from a side or rear lot boundary marked with the symbol ▲ 100 millimetres for every 50 millimetres of additional height.



Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

- 2 metres wide easement.
- 3 metres wide easement.
- 4 metres wide easement.
- 5 metres wide easement.
- 6 metres wide easement.
- 7 metres wide easement.
- 8 metres wide easement.
- 9 metres wide easement.
- 10 metres wide easement.
- 11 metres wide easement.
- 12 metres wide easement.
- 13 metres wide easement.
- 14 metres wide easement.
- 15 metres wide easement.
- 16 metres wide easement.
- 17 metres wide easement.
- 18 metres wide easement.
- 19 metres wide easement.
- 20 metres wide easement.
- 21 metres wide easement.
- 22 metres wide easement.
- 23 metres wide easement.
- 24 metres wide easement.
- 25 metres wide easement.
- 26 metres wide easement.
- 27 metres wide easement.
- 28 metres wide easement.
- 29 metres wide easement.
- 30 metres wide easement.
- 31 metres wide easement.
- 32 metres wide easement.
- 33 metres wide easement.
- 34 metres wide easement.
- 35 metres wide easement.
- 36 metres wide easement.
- 37 metres wide easement.
- 38 metres wide easement.
- 39 metres wide easement.
- 40 metres wide easement.
- 41 metres wide easement.
- 42 metres wide easement.
- 43 metres wide easement.
- 44 metres wide easement.
- 45 metres wide easement.
- 46 metres wide easement.
- 47 metres wide easement.
- 48 metres wide easement.
- 49 metres wide easement.
- 50 metres wide easement.
- 51 metres wide easement.
- 52 metres wide easement.
- 53 metres wide easement.
- 54 metres wide easement.
- 55 metres wide easement.
- 56 metres wide easement.
- 57 metres wide easement.
- 58 metres wide easement.
- 59 metres wide easement.
- 60 metres wide easement.
- 61 metres wide easement.
- 62 metres wide easement.
- 63 metres wide easement.
- 64 metres wide easement.
- 65 metres wide easement.
- 66 metres wide easement.
- 67 metres wide easement.
- 68 metres wide easement.
- 69 metres wide easement.
- 70 metres wide easement.
- 71 metres wide easement.
- 72 metres wide easement.
- 73 metres wide easement.
- 74 metres wide easement.
- 75 metres wide easement.
- 76 metres wide easement.
- 77 metres wide easement.
- 78 metres wide easement.
- 79 metres wide easement.
- 80 metres wide easement.
- 81 metres wide easement.
- 82 metres wide easement.
- 83 metres wide easement.
- 84 metres wide easement.
- 85 metres wide easement.
- 86 metres wide easement.
- 87 metres wide easement.
- 88 metres wide easement.
- 89 metres wide easement.
- 90 metres wide easement.
- 91 metres wide easement.
- 92 metres wide easement.
- 93 metres wide easement.
- 94 metres wide easement.
- 95 metres wide easement.
- 96 metres wide easement.
- 97 metres wide easement.
- 98 metres wide easement.
- 99 metres wide easement.
- 100 metres wide easement.

- 101 metres wide easement.
- 102 metres wide easement.
- 103 metres wide easement.
- 104 metres wide easement.
- 105 metres wide easement.
- 106 metres wide easement.
- 107 metres wide easement.
- 108 metres wide easement.
- 109 metres wide easement.
- 110 metres wide easement.
- 111 metres wide easement.
- 112 metres wide easement.
- 113 metres wide easement.
- 114 metres wide easement.
- 115 metres wide easement.
- 116 metres wide easement.
- 117 metres wide easement.
- 118 metres wide easement.
- 119 metres wide easement.
- 120 metres wide easement.
- 121 metres wide easement.
- 122 metres wide easement.
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- 124 metres wide easement.
- 125 metres wide easement.
- 126 metres wide easement.
- 127 metres wide easement.
- 128 metres wide easement.
- 129 metres wide easement.
- 130 metres wide easement.
- 131 metres wide easement.
- 132 metres wide easement.
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- 134 metres wide easement.
- 135 metres wide easement.
- 136 metres wide easement.
- 137 metres wide easement.
- 138 metres wide easement.
- 139 metres wide easement.
- 140 metres wide easement.
- 141 metres wide easement.
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- 148 metres wide easement.
- 149 metres wide easement.
- 150 metres wide easement.
- 151 metres wide easement.
- 152 metres wide easement.
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- 188 metres wide easement.
- 189 metres wide easement.
- 190 metres wide easement.
- 191 metres wide easement.
- 192 metres wide easement.
- 193 metres wide easement.
- 194 metres wide easement.
- 195 metres wide easement.
- 196 metres wide easement.
- 197 metres wide easement.
- 198 metres wide easement.
- 199 metres wide easement.
- 200 metres wide easement.

B4.6

ROXBURGH PARK NEIGHBOURHOOD DESIGN PLAN SECTION B STAGE B



ROXBURGH
PARK

This plan has been approved to form part of the Roxburgh Park Development Guidelines (March 1994) document.

Signed: *David A. Turnbull*
Director of Planning & Development

Date: 15.4.94

STATUTORY PRECISIONS

The provisions of the Urban Planning Scheme apply to developments and buildings in Roxburgh Park. These provisions include the Victorian Code for Residential Development, Subdivision and single dwellings, only some of which are repeated below.

Prior to application to the State of Victoria for building approval, all plans of developments and buildings must be approved by the Victorian Planning Authority. The U.P.A. may endorse a development which varies from the Victorian Planning Authority's requirements in a material way. No such variation shall be endorsed by the U.P.A. if it requires an additional planning permit from the responsible authority under the Urban Planning Scheme and if that permit has not been granted.

MINIMUM BUILDING SETBACKS

The figure below shows the minimum required setbacks for buildings and buildings. In the case of buildings, the minimum required setbacks relate to all buildings.

A dwelling that is constructed on a corner lot must be sited with its boundaries being the boundary with the greater specified setback from a road reserve. Where the specified setbacks from road reserves are the same, the dwelling must be sited with its setbacks being the boundary marked 'T'.

A dwelling that is not constructed on a property boundary must be sited at least 1 metre from the boundary.

HEIGHT AND BUILDING STING

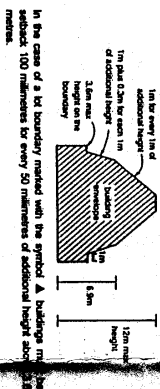
A person is required to construct a detached house or an extension to a detached house if:

- the height of any part of the wall is more than 8 metres above the natural surface level of the ground directly below it;
- the height of any part of a wall is 8 metres above the natural surface level of the ground directly below it and the point of the wall is more than 0.5 metres from the boundary;
- any part of the wall is more than 12 metres above the natural surface level of the ground directly below the part.

This does not apply to:

- a substation or radio antenna;
- a chimney, hot pipe or cooling appliance;
- buildings with a maximum height of 12 metres and external walls complying with the following setbacks from side or rear boundaries (other than those marked with the symbol A.1):

- 1 metre minimum setback for walls up to 3.6 metres in height unless it is a wall of a boundary;
- for walls of a boundary 3.6 metres in height a minimum setback of 1.5 metres; and
- for walls of a boundary 3.6 metres in height over 3.6 metres up to height of 6.9 metres, for each 1 metre of height over 3.6 metres up to height of 6.9 metres, for each 1 metre of height over 6.9 metres, of 1.5 metres for every 1 metre of height.



In the case of a lot boundary marked with the symbol A, buildings must be sited at least 100 metres from the boundary. For every 50 metres of additional height above 100 metres, the setback must be increased by 10 metres.



Enfers, gardens and gardens, masonry chimneys, flues, pipes, domestic fuel tanks, cooking or heating appliances or other services may encroach beyond the building envelopes referred to above provided that the distance between the outermost point of the structure and the boundary is not less than 0.5 metres.

The following items are not restricted:

- light fittings, electricity or gas meters, vents or antennas, parapets or awnings;
- unexcavated swamps, landfills, steps or ramps, not more than 1 metre in height;
- road verges and verges.

BUILDING TO THE BOUNDARY

Dwellings and outbuildings may be built to the boundary under the following conditions:

- a maximum building height of 3.6 metres (except for boundaries marked with the symbol A, where the maximum height is 8 metres) on and within 1 metre of the boundary;
- total wall length (including carport) along a side or rear boundary (except for boundaries marked with the symbol A.1);
- built to the boundary conditions restrict openings on boundaries. While within 1 metre of the boundary must not contain any openings unless they comply with the resistance levels specified in the Victorian Building Regulations.

EASEMENTS

Except with the approval of the relevant planning authority, no buildings are to be constructed on easements. Buildings shall be designed so that they do not adversely affect the intended function of nearby easements.

CAR PARKING

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

NOTES

- 1.5 metres wide easement;
- 2 metres wide easement;
- 3 metres wide easement;
- Setback means required;
- Dwelling envelope and lot number.

Designated vehicle cross-over to lot (no other vehicular access point is permitted to a lot, except with the approval of the U.P.A.)

MO

Means mandatory dwelling construction on the boundary.

Dwelling

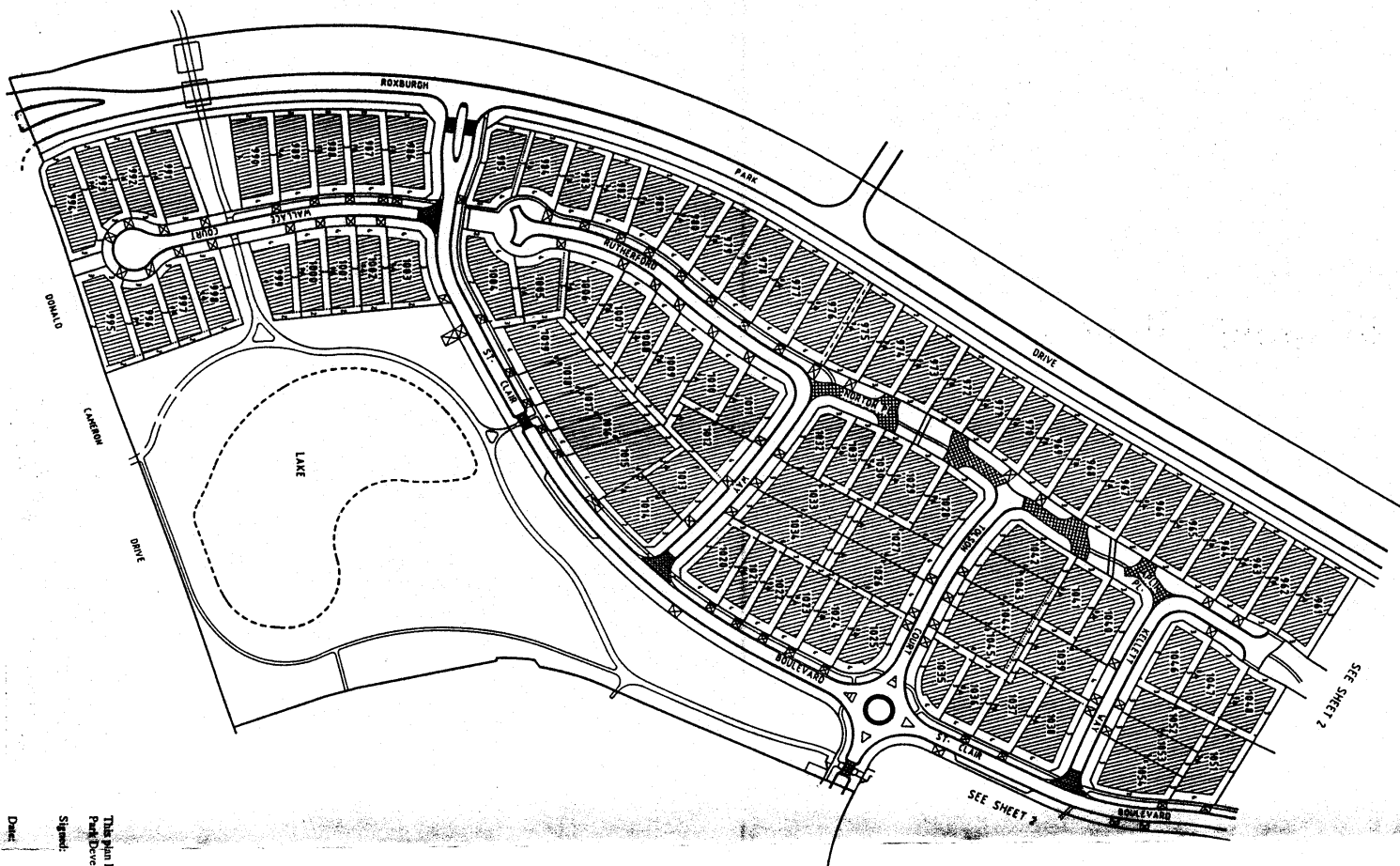
Means a house including any separate outbuildings, garages or carports.

Building

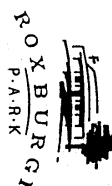
Means any structure including a carport, terrace, garage, house and shed.

All dimensions are shown in metres.

For the purposes of the Victorian Code for Residential Development, Subdivision and single dwellings, the Neighborhood Design Plan is a landscape plan and building envelope plan.



ROXBURGH PARK NEIGHBOURHOOD DESIGN PLAN SECTION B STAGE 7



B4.7

SHEET 1 OF 2
17 FEBRUARY 1994



URBAN LAND AUTHORITY

This plan has been approved to form part of the Roxburgh Park Development Guidelines (March 1994) document.
Signed: *Mandi Kumball*
David A. Tunbull
Director of Planning & Development
Date: 15.4.94



B4.7

For the purposes of the Victorian Code for Residential Development Subdivision and single dwellings, the Neighbourhood Design Plan is a streetscape plan and building envelope plan.

All dimensions are shown in metres.

MO	Means mandatory dwelling construction on the boundary.
Dwelling	Means a house excluding any separate outbuildings, garages or carports.
Building	Means any structure including a carport, fence, garage, house and shed.
Designated vehicle cross-over to lot (no other vehicular access point is permitted to a lot, except with the approval of the ULA).	
Dwelling envelope and lot number.	
Setback minima required.	
1.5 metres wide easement.	
2 metres wide easement.	
3 metres wide easement.	
4	

NOTES

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

CAR PARKING

Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements. Buildings shall be designed so that they do not adversely affect the intended function of nearby easements.

EASEMENTS

Built to the boundary conditions restrict openings on boundaries. Walls within 1 metre of the boundary must not contain any openings unless they comply with the fire resistance levels specified in the Victorian Building Regulations.

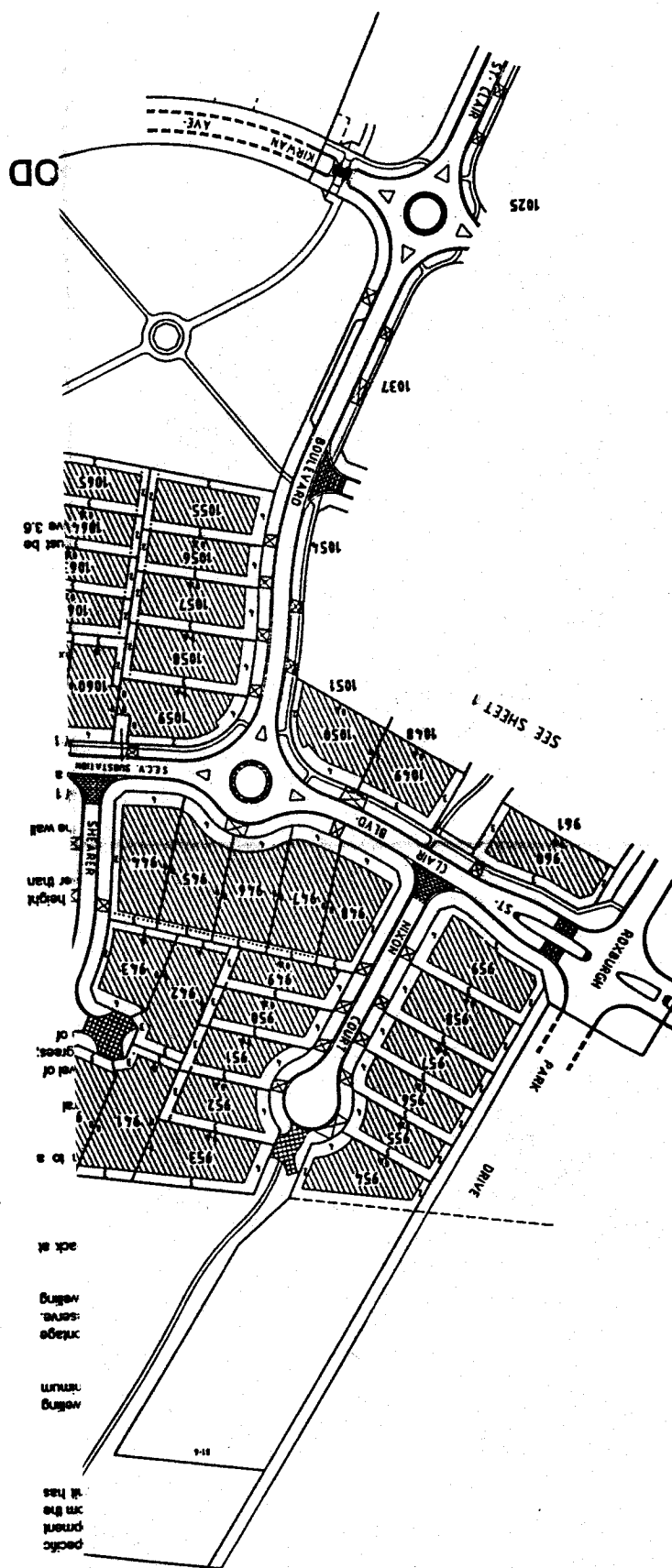
- a maximum of 20 metres total wall length (including carports) along a side or rear boundary (except for boundaries marked with the symbol e).
- the symbol e where the external wall height is 8 metres) on and within 1 metre of the boundary.
- a maximum of 3.5 metres (except for boundaries marked with the symbol e) where the external wall height is 8 metres) on and within 1 metre of the boundary.

Dwellings and outbuildings may be built to the boundary under the following conditions:

- sunblinds;
- light fittings, electrical or gas meters, aerials or antennae, pergolas or unroofed terraces, landings, steps or ramps, not more than 1 metre in height;
- roof lighting and ventilation.

The following items are not restricted:

Eaves, fascias and gutters, masonry chimneys, blue, pipe, domestic fuel tanks, cooking or heating appliances or other services may encroach beyond the building envelope provided that the distance between the structure and the boundary is not less than 0.5 metres.



This plan has been approved to form part of the Roxburgh
Park Development Guidelines document.

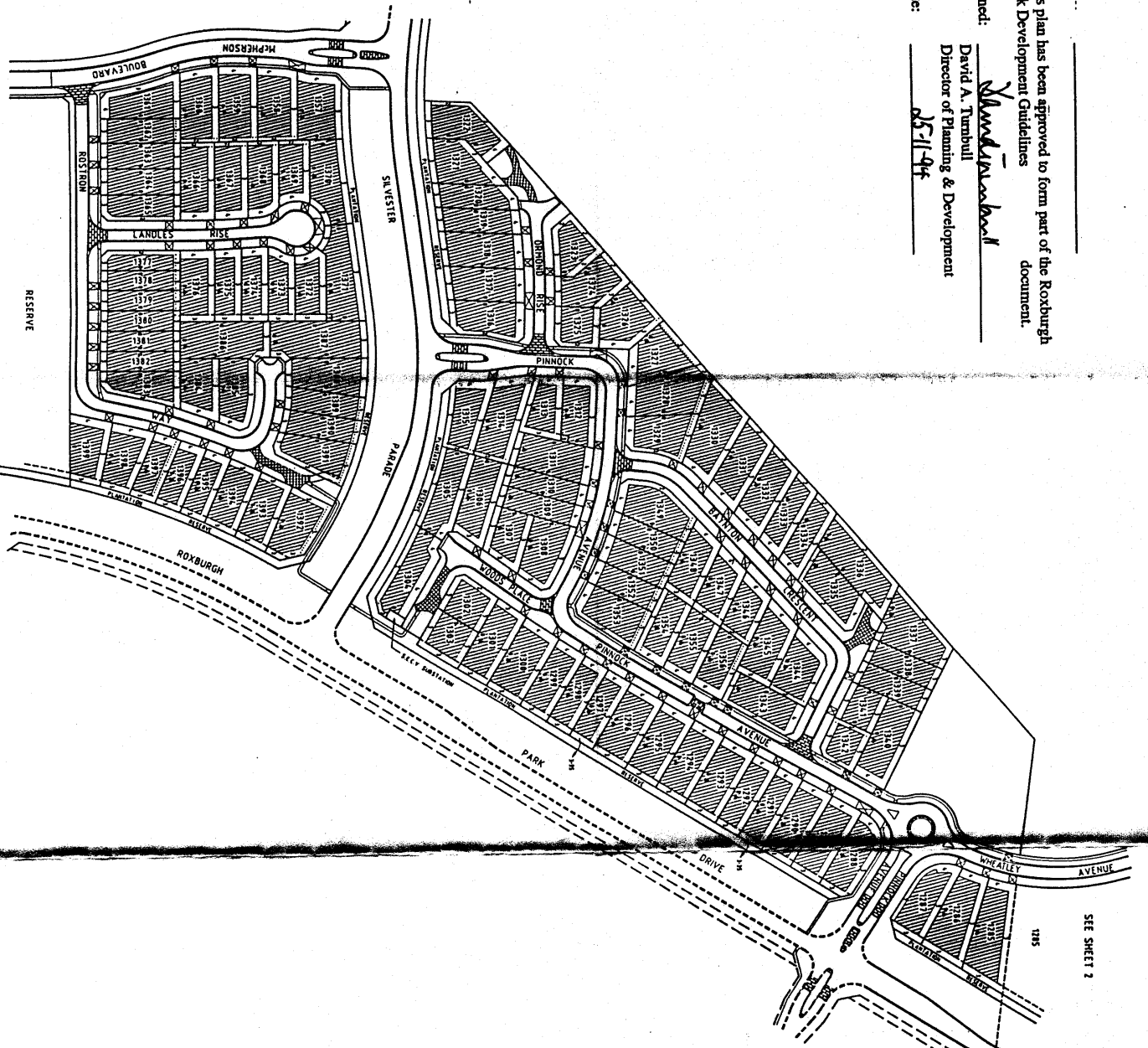
Signed:

David A. Turnbull

David A. Turnbull
Director of Planning & Development

Date:

25/1/94



SEE SHEET 2

STATUTORY PROVISIONS

The provisions of the Building Scheme apply to development and use in Roxburgh Park. These provisions include the Victorian Code of Development, Subdivision and design guidelines, and any other relevant provisions.

Prior to application for a building permit all plans must be endorsed by the Urban Land Authority (ULA) as complying with the Roxburgh Park Development Guidelines and in particular the Neighbourhood Design Plan.

The ULA may endorse a development which varies from the specific requirements provided in general terms, but the development must be endorsed by the ULA if it requires a variation from the Building Scheme or if the development is a variation from the Building Scheme or if the development is a variation from the Building Scheme.

MINIMUM BUILDING SETBACKS

The figure below each lot boundary represents the minimum required building setback from that property boundary. In the case of a lot boundary that is not a straight line, the setback is the minimum required setback to all boundaries.

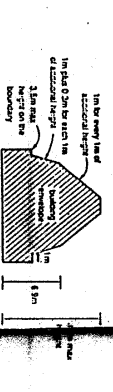
A dwelling that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a road reserve. Where the specified setbacks from road reserves are the same, the dwelling must be sited with its frontage being the boundary marked 'F'.

A dwelling that is not contained on a property boundary must be sited at least 1 metre from the boundary.

HEIGHT AND BUILDING STINGS

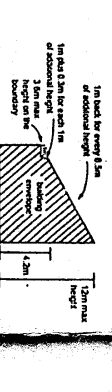
Buildings with a maximum height of 12 metres and external wall height complying with the following setbacks from side or rear boundaries (other than those marked with the symbol A, 1):

- 1 metre minimum setback for walls up to 3.6 metres in height, the wall is built to the boundary;
- for that part of the wall over 3.6 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 3.6 metres up to a height of 6.9 metres;
- for that part of the wall over 6.9 metres in height a minimum setback of 1 metre for every 1 metre of height.

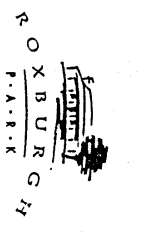


In the case of a lot boundary marked with the symbol A, all buildings must have a minimum height of 12 metres and an external wall height complying with the following setbacks from side or rear boundaries:

- 1 metre minimum setback for walls up to 3.6 metres in height, the wall is built to the boundary;
- for that part of the wall over 3.6 metres in height, a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 3.6 metres up to a height of 4.2 metres;
- for that part of the wall over 4.2 metres in height, a minimum setback of 1 metre for every 0.3 metres of additional height.



ROXBURGH PARK NEIGHBOURHOOD DESIGN PLAN SECTION B STAGE 8



Excess, facades and gables, masonry chimneys, flues, pipes, domestic fuel units, cooling or heating appliances or other services may extend beyond the building envelopes provided that the building envelopes are not less than 0.5 metres from the outermost part of the structure and the boundary is not less than 0.5 metres.

The following items are not restricted:

- light fittings, electricity or gas meters, awnings or antennas, pergolas or sunblinds;
- unenclosed terraces, balconies, steps or ramps, not more than 1 metre in height;
- pool lighting and ventilation.

BUILDING TO THE BOUNDARY

Dwellings and outbuildings may be built to the boundary under the following conditions:

- a maximum building height of 3.6 metres (except for boundaries marked with the symbol A, 1);
- a maximum of 20 metres total wall length (including carports) along a side or rear boundary (except for boundaries marked with the symbol A, 1);
- a building to the boundary must not contain any openings (except for the residence level specified in the Building Regulations 1994).

ELEMENTS

Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements. Buildings shall be designed so that they do not adversely affect the intended function of nearby easements.

CAR PARKING

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

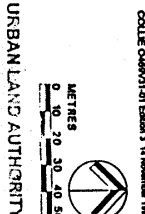
NOTES

- 1.5 metres wide easement;
- 2 metres wide easement;
- 3 metres wide easement;
- Setback minimum required;
- Dwelling envelope and lot number;
- Designated vehicle access point to lot (for other vehicles access point is permitted to be lot, except with the approval of the ULA);
- Means mandatory dwelling construction on the boundary;
- Means a house enclosing any separate outbuildings, garages or carports;
- Means any structure including a carport, fence, garage, house and shed;
- A setback of up to 150 millimetres from the boundary is deemed to be on the boundary.

All dimensions are shown in metres.
For the purposes of the Victorian Code for Residential Development Subdivision and design guidelines, the Neighbourhood Design Plan is a streetscape plan and building envelope plan.

B4.8

SHEET 1 OF 2



Signed: *David A. Turnbull*

David A. Turnbull
Director of Planning & Development

Date: 25/1/94

STATUTORY PROVISIONS

The provisions of the Bala Plan (1988) apply to development and use in Roxburgh Park. These provisions include the Victorian Code for Residential Development, Subdivision and the Overlay, only some of which are repeated below.

Prior to application for a building permit, all plans must be approved by the Urban Land Authority (ULA) as required by the Roxburgh Park Development Guidelines and in particular the Neighbourhood Design Plan.

The ULA may endorse a development which varies from the specific requirements provided in general but is not. No such varied development shall be endorsed by the ULA if it is not in accordance with an additional planning permit or other approval from the responsible authority under the Bala Planning Scheme and the provisions of the Bala Planning Scheme that apply.

MINIMUM BUILDING SETBACKS

The figure beside each lot boundary represents the minimum required dwelling setback from that property boundary. In the case of frontages and side boundaries that adjoin a street the minimum required setback relates to all buildings.

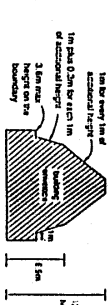
A dwelling that is constructed on a lot must be sited with its frontage being the boundary with the street. Specified setbacks from a road reserve. Where the specified setbacks for frontage and side boundaries are the same, the dwelling must be sited with its frontage being the boundary marked 'F'.

A dwelling that is not constructed on a lot must be sited with its frontage being the boundary marked 'F'.

HEIGHT AND BUILDING STYING

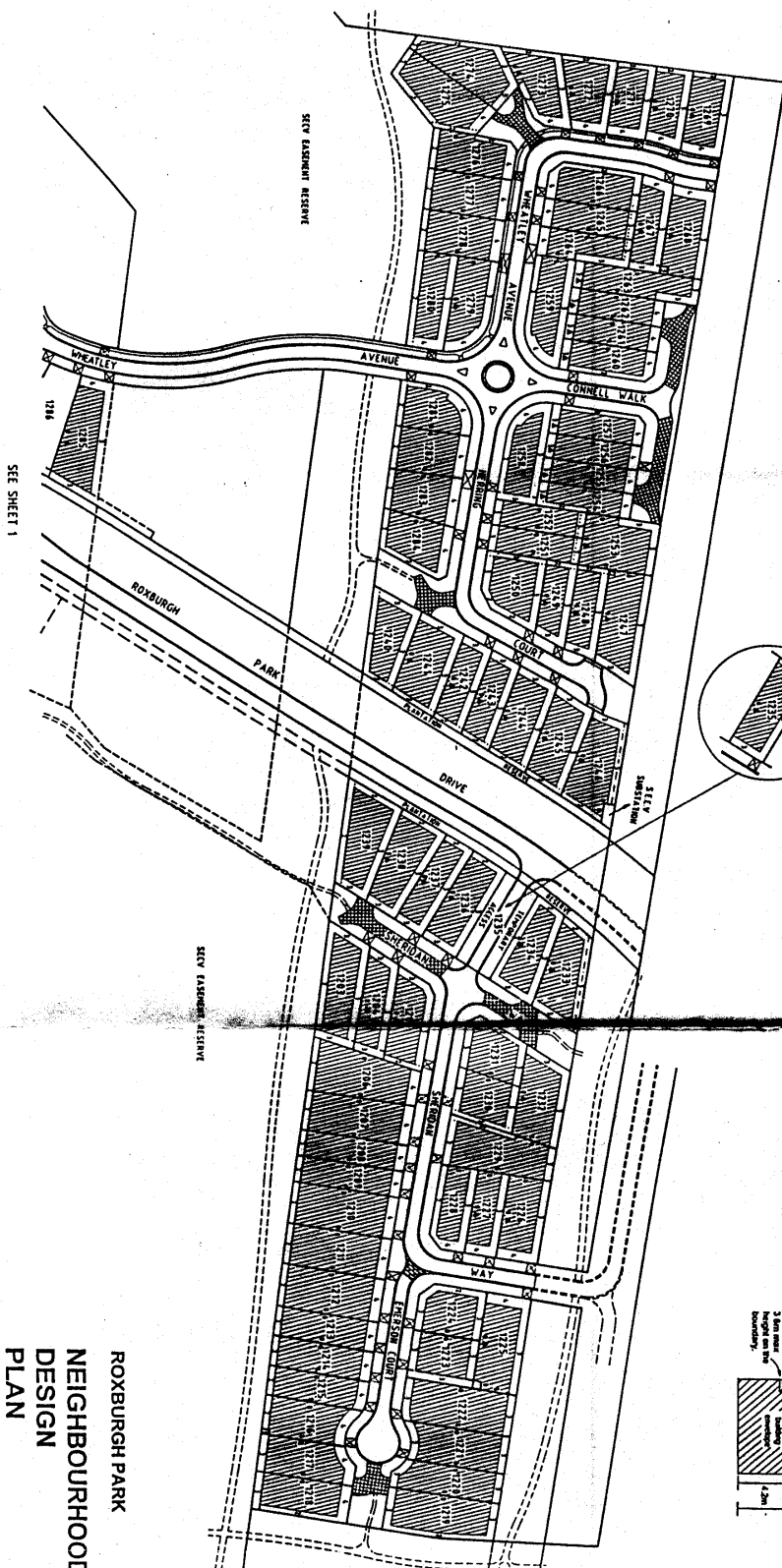
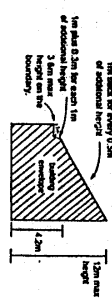
Buildings with a maximum height of 12 metres and external walls complying with the following setbacks from side or rear boundaries (see figure A.1) must be sited with the following setbacks from side or rear boundaries:

- 1 metre minimum setback for walls up to 3.6 metres in height unless the wall is to the boundary.
- For that part of the wall over 3.6 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 3.6 metres.
- For that part of the wall over 6.9 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 6.9 metres.
- For that part of the wall over 11.2 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 11.2 metres.



In the case of a lot boundary marked with the symbol A, all buildings must have a minimum height of 17 metres and an external wall height complying with the following setbacks from side or rear boundaries:

- 1 metre minimum setback for walls up to 3.6 metres in height unless the wall is to the boundary.
- For that part of the wall over 3.6 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 3.6 metres.
- For that part of the wall over 6.9 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 6.9 metres.
- For that part of the wall over 11.2 metres in height a minimum setback of 1 metre plus 0.3 metres for each 1 metre of height over 11.2 metres.



SEE SHEET 1

ROXBURGH PARK
NEIGHBOURHOOD
DESIGN
PLAN
SECTION B STAGE 8



Entrs, facades and gates, masonry chimneys, flues, pipes, domestic fuel units, cooling or heating appliances or other services may extend beyond the building envelopes provided to allow provided that the distance between the outermost part of the structure and the boundary is not less than 0.5 metres.

The following items are not restricted:

- light fittings, electricity or gas meters, satellite or antennae, porches or awnings;
- external ladders, balconies, steps or ramps, not more than 1 metre in height;
- roof lighting and ventilation.

BUILDING TO THE BOUNDARY

Dwellings and outbuildings may be built to the boundary under the following conditions:

- a maximum building height of 3.6 metres (except for boundaries marked with the symbol A, where the external wall height is 12 metres) on and within 1 metre of the boundary;
- a maximum of 20 metres total wall length (including carports) along a side or rear boundary (except for boundaries marked with the symbol A);
- built to the boundary conditions stated elsewhere in the guidelines. Walls within 1 metre of the boundary must not contain any openings unless they comply with the requirements stated elsewhere in the guidelines.

EASEMENTS

Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements. Buildings shall be designed so that they do not adversely affect the intended function of nearby easements.

CAR PARKING

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

NOTES

- 1.5 metres wide easement.
- 2 metres wide easement.
- 3 metres wide easement.
- Setback minima required.
- Dwelling envelopes and lot number.
- Discrepancies shall be resolved to the lot owner's favour.
- Access point is permitted to a lot, except with the approval of the ULA.
- Means mandatory dwelling construction on the boundary.
- Means a house excluding any separate outbuildings, garages or carports.
- Means any structure including a carport, terrace, garage, house and shed.
- A setback of up to 150 millimetres from the boundary is deemed to be on the boundary.



All dimensions are shown in metres.

For the purposes of the Victorian Code for Residential Development Subdivision and single dwellings, the Neighbourhood Design Plan is a streetscape plan and building envelope plan.

B4.8

Prior to application for a building permit all plans must be submitted to the Urban Land Authority (ULA) as complying with the *Florida Building Code* and the *Florida Building Code* and in particular the Neighborhood Design Plan. The ULA may address a development which varies from the specific standards of the *Florida Building Code* and the *Florida Building Code* provided that the ULA is satisfied that it meets the intent of the *Florida Building Code*. No such variance shall be adopted by the ULA if it requires an additional planning approval from the responsible authority under the Rules Planning Committee or other appropriate body. The ULA may also require a building permit or other appropriate body. The ULA may also require a building permit or other appropriate body.

The figure beside each lot boundary represents the minimum required setback from that property boundary. In the case of front, side and rear boundaries that abut a street the minimum required setbacks to adjacent buildings.

A dwelling that is constructed on a corner lot must be sited so that the front setback is at least 1 meter from the boundary. When the specified setbacks from road reserves are the same, the dwelling must be sited with its frontage being the boundary marked "F".

Buildings with a maximum height of 12 metres and external height complying with the following setbacks from side or rear boundaries other than those marked with the symbol Δ :

- 1 metre minimum setback for walls up to 3.6 metres in height
- is built to the boundary;
- for that part of the wall over 3.6 metres in height a minimum setback of 1.8 metres is required;
- for walls plus 0.3 metres for each 1 metre of height over 3.6 metres plus 8.9 metres;
- for that part of the wall over 6.9 metres in height a minimum setback of 1.8 metres for every 1 metre of height.

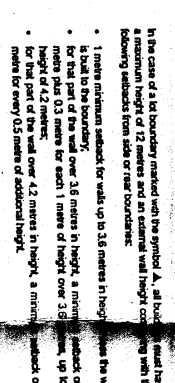
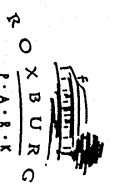


Diagram illustrating the height calculation for a building extension. The main building height is 12m. The extension height is 4.2m. The extension has a maximum height of 3.5m. The height of the extension is calculated as 1m plus 0.2m for each 1m of additional height.

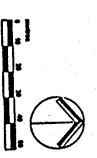
SECTION B STAGE 1



URBAN LAND AUTHORITY

B4.9

SHEET 1 OF 2
COLLE 0453V12-01 Edition 3 18 May 1995



This plan has been approved to form part of the Roxburgh Park Development Guidelines document.

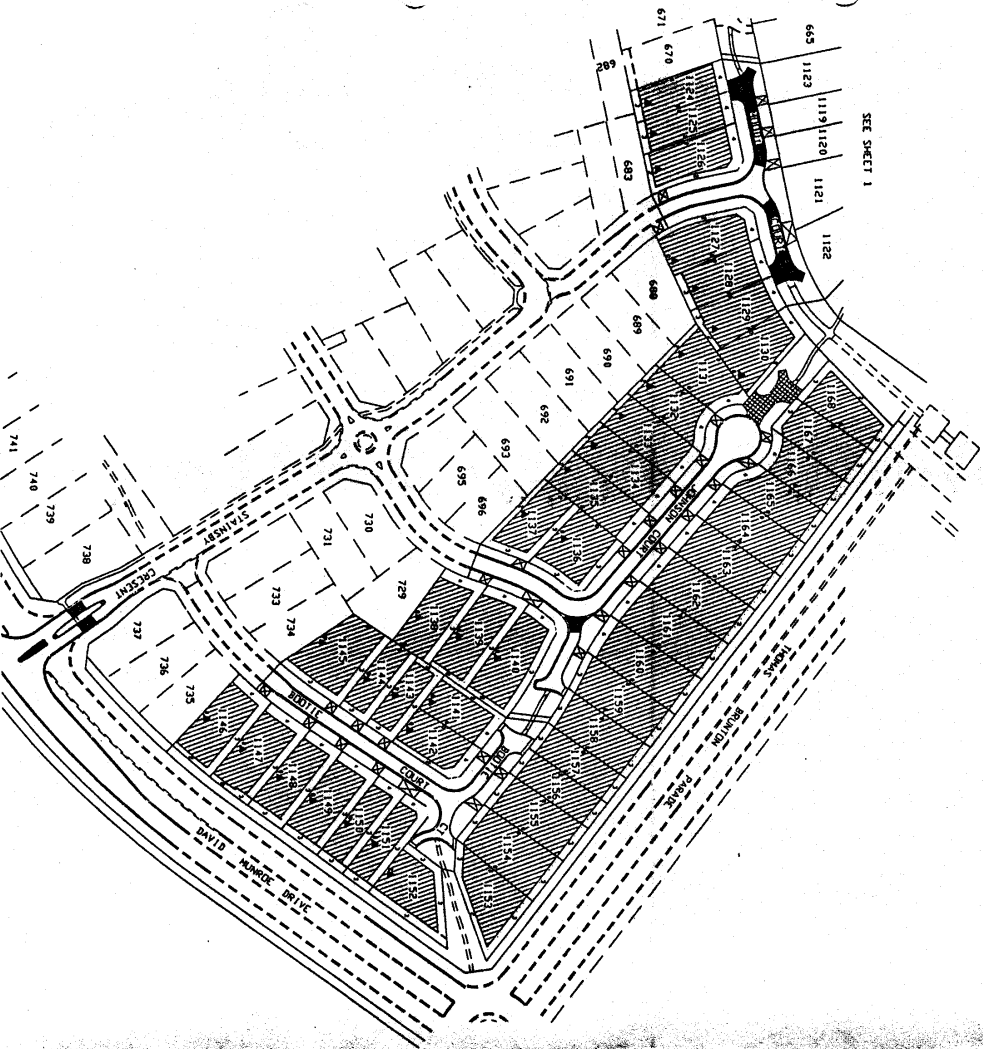
Signed:

David A. Turnbull

Director of Planning & Development

Date:

10-1-95



4. AUTORY PROVISIONS

The provisions of the Sub Planning Scheme apply to development in Roxburgh Park. The provisions include the Minimum Code for Development, Subdivision and single dwellings, only some of which are repeated below.

Prior to application for a building permit all plans must be endorsed by the Victorian Land Authority (VLA) as complying with the Roxburgh Park Development Guidelines and in particular this Neighbourhood Design Plan.

The VLA may endorse a development which varies from the specific requirements provided in general intent is met. No such variation shall be endorsed by the VLA if it requires an additional building permit or other approval has not been granted.

MINIMUM BUILDING SETBACKS

The figure beside each lot boundary represents the minimum required setback from that property boundary. In the case of setbacks, refer to all setbacks that add a street the minimum required setback, refer to all setbacks.

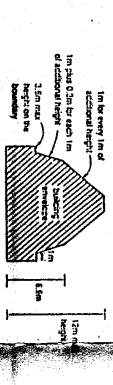
A dwelling that is constructed on a corner lot must be sited with its frontage being the boundary with the greater specified setback from a road reserve. Where the specified setbacks from road reserves are the same, the dwelling must be sited with its frontage being the boundary marked 'F'.

A dwelling that is not constructed on a property boundary must be sited at least 1 metre from the boundary.

HEIGHT AND BUILDING SITING

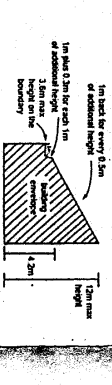
Buildings with a maximum height of 12 metres and external wall height complying with the following setbacks from side or rear boundaries (other than those marked with the symbol A.)

- 1 metre minimum setback for walls up to 3.6 metres in height unless the wall is built to the boundary.
- for that part of the wall over 3.6 metres in height a minimum setback of 1 metre for walls up to 6.9 metres in height and 0.5 metres for walls over 6.9 metres.
- for that part of the wall over 6.9 metres in height a minimum setback of 1 metre for every 0.5 metres of additional height.



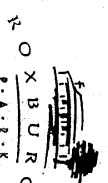
In the case of a lot boundary marked with the symbol A, all buildings must have a minimum height of 12 metres and an external wall height complying with the following setbacks from side or rear boundaries:

- 1 metre minimum setback for walls up to 3.6 metres in height unless the wall is built to the boundary.
- for that part of the wall over 3.6 metres in height a minimum setback of 1 metre for walls up to 4.2 metres in height and 0.5 metres for walls over 4.2 metres.
- for that part of the wall over 4.2 metres in height a minimum setback of 1 metre for every 0.5 metres of additional height.



ROXBURGH PARK NEIGHBOURHOOD DESIGN PLAN

SECTION B STAGE 9



Eaves, fascias and gutters, masonry chimneys, flues, pipes, domestic fuel tanks, cooling or heating appliances or other services may extend beyond the building envelopes referred to above provided that the height of the overhanging part of the structure and the boundary is not less than 0.5 metres.

The following items are not restricted:

- light fittings, electricity or gas meters, seals or antennae, porches or sunrooms;
- unenclosed terraces, landings, steps or ramps, not more than 1 metre in height;
- roof lighting and ventilation.

BUILDING TO THE BOUNDARY

Dwellings and outbuildings may be built to the boundary under the following conditions:

- a maximum building height of 3.6 metres (except for boundaries marked with the symbol A, where the external wall height is 12 metres) and within 1 metre of the boundary;
- a maximum of 20 metres total wall length (including carports) along a side or rear boundary (except for boundaries marked with the symbol A);
- built to the boundary conditions stated elsewhere on the boundary. While within 1 metre of the boundary, any opening must comply with the fire resistance levels specified in the Building Regulations 1994.

EASEMENTS

Except with the approval of the relevant servicing authority, no buildings are to be constructed on easements. Buildings shall be designed so that they do not adversely affect the intended function of any easement.

CAR PARKING

Two car parking spaces must be provided on each lot in any configuration. One space must be capable of being covered.

NOTES

- 1.5 metres wide easement.
- 2 metres wide easement.
- 3 metres wide easement.
- Setback minimum required.
- Dwelling envelope and lot number.
- Designated vehicle cross-over to lot (for other vehicles).
- Setback minimum required.
- Setback minimum required.

MO

Means a house excluding any separate outbuildings, garages or carports.

Means any structure including a carport, fence, garage, house and shed.

Building

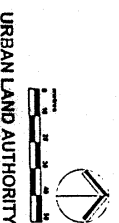
A setback of up to 150 millimetres from the boundary is deemed to be on the boundary.

All dimensions are shown in metres.

For the purposes of the Victorian Code for Residential Development Subdivision and single dwellings, the Neighbourhood Design Plan is a streetscape plan and building envelope plan.

B4.9

SHEET 2 OF 2
COLLIE 544973-61 (Edition 1) January 1994



URBAN LAND AUTHORITY

APPENDIX C

**ROXBURGH PARK DEVELOPMENT GUIDELINES
HOUSE SITING AND DESIGN SUMMARY**



HOUSE SITING AND DESIGN

IMPORTANT INFORMATION

The Urban Land Authority (ULA) requires via a Section 173 Agreement or as a condition in the contract of sale that the developer of each lot obtain the endorsement of the ULA for each building or structure (including fences and signs) on the lot prior to seeking a building permit.

Plans require the endorsement of the ULA as complying with the Roxburgh Park Development Guidelines.

The ULA endorsed plans have statutory status and lot owners are liable to legal action and costs if development is not in compliance with the endorsed plans.

Each request for endorsement must be accompanied by the following material:

- *Endorsement Request form (available from the ULA or its authorised consultant);*
- *three site plans (drawn to scale and not reduced) fully dimensioned and showing all lot boundaries and the location of all buildings;*
- *three sets (drawn to scale and not reduced) of building plans and elevations fully dimensioned in respect of heights and lengths of external and internal walls.*

The ULA can also require a schedule of external finishes and colours. You will be advised.

Endorsement pursuant to a Section 173 Agreement or contract of sale is additional to and not in lieu of any State or Local Government planning or building approval requirements.

No building permit application can be considered by Council or private building surveyors without prior endorsement by the ULA.

SUMMARY

TECHNICAL REQUIREMENTS

☐ Main outdoor and indoor living areas face north.

☐ Internal service areas (bathroom and laundry) located on a non-north side of houses.

☐ West facing windows minimised but where unavoidable, are protected from afternoon summer sun.

☐ Unless otherwise specified on the Neighbourhood Design Plan (NDP), only one house is permitted on each lot.

☐ Easements must be protected.

☐ Frontage, side and rear setbacks and building heights must comply with the NDP.

☐ Buildings must not be constructed in the setbacks (indicated on the NDP) to any street reserve except for a garage or carport in the setback from a street reserve of 6 metres width or less developed as an access lane.

☐ The development of houses is encouraged on the boundary where permitted under the NDP.

☐ Two storey houses should be constructed with the second storey closer to the lot frontage, to minimise direct overlooking and building bulk and must not

extend further from the street frontage than a distance equal to the front set back plus 60 per cent of the depth of the lot.

☐ Outdoor space must be sited and designed to differentiate between private open space for recreation and service areas.

☐ Private open space on a lot greater than 300 square metres in area is a minimum of 20 per cent of the lot area or 80 square metres (whichever is greater) and:

- the minimum dimension is 2.5 metres;
- at least one part comprises an area of 25 square metres with a minimum dimension of 4

continued on reverse

APPENDIX D

**ROXBURGH PARK DEVELOPMENT GUIDELINES
NON-RESIDENTIAL DEVELOPMENT
SITING AND DESIGN SUMMARY**



NON-RESIDENTIAL DEVELOPMENT

IMPORTANT INFORMATION

The Urban Land Authority (ULA) requires via a Section 173 Agreement or as a condition in the contract of sale that the developer of each lot obtain the endorsement of the ULA for any buildings, structures (including fences and signs) or other works on the lot prior to seeking a building permit.

Plans require the endorsement of the ULA as complying with the Roxburgh Park Development Guidelines.

The ULA endorsed plans have statutory status and lot owners are liable to legal action and costs if development is not in full compliance with the endorsed plans.

Each request for endorsement must be accompanied by the following material:

- Endorsement Request form (available from the ULA or its authorised consultant);
- three site plans (drawn to scale and not reduced) fully dimensioned and showing all lot boundaries and the location of all buildings;

- three sets (drawn to scale and not reduced) of building plans and elevations fully dimensioned in respect of heights and lengths of external and internal walls.

The Bulla Planning Scheme requires that a planning permit be obtained for many non-residential land uses in Roxburgh Park. Some non-residential land uses do not require a planning permit provided the site is:

- identified for the use in the Roxburgh Park Local Structure Plan; or
- within an Activity Centre designated in the Roxburgh Park Local Structure Plan;
- identified for the use and is within an Activity Centre designated in the Roxburgh Park Local Structure Plan.

A list of the uses that do not require a planning permit are included in the Bulla Planning Scheme. In most cases (even if a planning permit is not required) a plan or plans showing the proposed layout, elevations, dimensions, car parking, access and landscaping is required to be approved to the satisfaction of the responsible authority.

SUMMARY

APPLICATIONS FOR NON-RESIDENTIAL DEVELOPMENT

☐ Non-residential development plans submitted to the ULA for endorsement should ensure that the location, siting and design:

- is consistent with the objectives, policies and landuse intentions contained in the Roxburgh Park Local Structure Plan;
- is generally suitable for and compatible with the area;
- is sympathetic to the protection of the reasonable amenity of existing and proposed

neighbouring residential and non-residential developments;

- provides for ease of pedestrian and vehicle access and movement;
- provides appropriate off-street car parking;
- is sympathetic to an attractive streetscape and does not create unacceptable building bulk and visual intrusion;
- is in keeping with the objective of a high quality design environment.

☐ Non-residential development should be sited and designed generally in accordance with the Roxburgh Park Local Structure Plan, the Roxburgh Park

Development Guidelines and with any Development Plan approved by Hume City Council.

☐ Frontage, side and rear setbacks and building heights must comply with the relevant NDP.

☐ Buildings must not be constructed in the setbacks (indicated on the NDP) to any street reserve.

For further information contact Collie Planning and Development Services Pty Ltd on (03) 9427 9688.



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APPENDIX E

SUGGESTED PLANTS FOR HOUSE LOTS IN ROXBURGH PARK

APPENDIX E SUGGESTED PLANTS FOR HOUSE LOTS IN ROXBURGH PARK

N	-	Australian Native
Ex	-	Exotic (from other countries)
D	-	Deciduous
E	-	Evergreen

D.1 LARGE TO MEDIUM TREES (greater than 8 metres in height)

Botanical Name	Common Name	
<i>Acacia melanoxylon</i>	Blackwood	N E
<i>Acer negundo</i> 'variegatum'	Ghost tree	Ex D
<i>Eucalyptus crenulata</i>	Silver gum	N E
<i>Eucalyptus nicholii</i>	Narrow-leaf black peppermint	N E
<i>Fraxinus</i> 'Raywoodi'	Claret ash	Ex D
<i>Hymenosporum flavum</i>	Native frangipani	N E
<i>Juglans nigra</i>	Black walnut	Ex D
<i>Liriodendron tulipifera</i>	Tulip tree	Ex D
<i>Malus spectabilis</i>	Chinese crabapple	Ex D
<i>Melaleuca linariifolia</i>	Snow-in-summer	N E
<i>Virgilia divaricata</i>	Spring flowered virgilia	Ex E

D.2 SMALL TREES (under 8 metres in height)

Botanical Name	Common Name	
<i>Acacia boormanii</i>	Snowy River wattle	N E
<i>Acacia elongata</i>	Swamp wattle	N E
<i>Acacia floribunda</i>	Gossamar wattle	N E
<i>Acacia podalyriifolia</i>	Mt Morgan wattle	N E
<i>Acacia pravissima</i>	Ovens wattle	N E
<i>Agonis flexuosa</i>	Peppermint willow	N E
<i>Allocasuarina verticillata</i>	Drooping she-oak	N E
<i>Arbutus unedo</i>	Strawberry tree	Ex E
<i>Eucalyptus leucoxylon</i> var. <i>macrocarpa</i>	Red flowered yellow gum	N E
<i>Eucalyptus spathulata</i>	Swamp mallet	N E
<i>Eucalyptus torquata</i>	Coral gum	N E
<i>Eucalyptus viridis</i>	Green mallee	N E
<i>Hakea elliptica</i>	Oval leaf hakea	N E
<i>Lagerstroemia indica</i>	Pink crepe myrtle	Ex D
<i>Malus floribunda</i>	Japanese flowering crab	Ex D
<i>Olea europaea</i>	Common olive	Ex E

D.2 SMALL TREES (under 8 metres in height) (continued)

Botanical Name	Common Name	
<i>Prunus serrulata</i> 'shirotae'	Double white flowering cherry	Ex D
<i>Pyrus ursuriensis</i>	Manchurian pear	Ex D
Fruit trees - pears, apples, plums, late fruiting nectarines and apricots, quinces		

D.3 LARGE SHRUBS (over 1 metre in height)

Botanical Name	Common Name	
<i>Acacia iteaphyllai</i>	Gawler range wattle	NE
<i>Banksia marginata</i>	Silver banksia	NE
<i>Buddleia davidi</i> 'White Cloud'	White buddleia	Ex E
<i>Buddleia salvifolia</i>	Winter buddleia	Ex E
<i>Callistemon citrinus</i> 'Endeavour'	Red bottlebrush	NE
<i>Callistemon pallidus</i>	Lemon bottlebrush	NE
<i>Callistemon phoeniceus</i>	Fiery bottlebrush	NE
<i>Callistemon 'Reeves Pink'</i>	Pink bottlebrush	NE
<i>Callistemon speciosus</i>	Snowy bottle brush	NE
<i>Choisya ternata</i>	Mexican orange	Ex E
<i>Correa backhousiana</i>	Creamy correa	NE
<i>Correa glabra</i>	Green/dusky red correa	NE
<i>Dodonea cuneata</i>	Wedge-leaf hop bush	NE
<i>Garrya elliptica</i>	Catkin shrub	Ex D
<i>Leptospermum petersonii</i>	Lemon scented tea tree	NE
<i>Viburnum tinus</i>	Laurestinus	Ex E

D.4 SMALL SHRUBS (under 1 metre in height)

Botanical Name	Common Name	
<i>Baeckea ramosissima</i>	Pink baeckea	NE
<i>Bauera rubioides</i>	Wiry bauera	NE
<i>Boronia megastigma</i>	Brown boronia	NE
<i>Brachysema lanceolatum</i>	Swan River pea	NE
<i>Ceanothus impressus</i>	Blue ceanothus	NE
<i>Cistus crispus</i>	Rock rose	Ex E
<i>Correa alba</i>	White correa	NE
<i>Correa reflexa</i>	Common correa	NE
<i>Correa pulchella</i>	Correa	NE
<i>Cotoneaster horizontalis</i>	Rock cotoneaster	Ex E
<i>Crowea exalata</i>	Small crowea	NE
<i>Dampiera rosmarinifolia</i>	Rosemary dampiera	NE
<i>Epacris longiflora</i>	Fuchsia heath	NE

D.4 SMALL SHRUBS (under 1 metre in height) (continued)

Botanical Name	Common Name	
<i>Eriostemon myoporoides</i>	Long-leaf wax flower	N E
<i>Euryops pectinatus</i>	Yellow daisy	Ex E
<i>Grevillea steiglitziana</i>	Brisbane Range grevillea	N E
<i>Hebe 'Imperialis'</i>	Imperial veronica	Ex E
<i>Lavandula sp.</i>	Lavender	Ex E
<i>Leptospermum juniperinum 'horizontalis'</i>	Prickly tea-tree	N E
<i>Phlomis fruticosa</i>	Jerusalem sage	Ex E
<i>Pimelia ferruginea</i>	Pink rice flower	N E
<i>Rosmarinus officinalis</i>	Rosemary	Ex E
<i>Santolina chamaecyparissus</i>	Cotton lavender	Ex E
<i>Spiraea chinensis</i>	May	Ex D
<i>Thryptomene 'paynei'</i>	Pink thryptomene	N E

D.5 GROUND COVERS - Prostrate

Botanical Name	Common Name	
<i>Brachycome multifida</i>	Cut leaf daisy	N E
<i>Convolvulus mauritanicus</i>	Trailing convolvulus	Ex E
<i>Gazania hybrids</i>	Gazanias	Ex E
<i>Grevillea bitemata</i>	Grevillea	N E
<i>Grevillea 'Poorinda royal Mantle'</i>	Grevillea	N E
<i>Hardenbergia violacea</i>	Purple coral pea	N E
<i>Juniperus horizontalis</i>	Juniper	Ex E
<i>Myoporum parvifolium</i>	Creeping bobialla	N E
<i>Nephrolepis cordifolia</i>	Fishbone fern	N E
<i>Viola hederacea</i>	Native violet	N E

D.6 TUFTED PLANTS (strap shaped leaves growing from a common base)

Botanical Name	Common Name	
<i>Agapanthus orientalis</i>	African lily	Ex E
<i>Dianella revoluta</i>	Spreading flax lily	N E
<i>Hymenocallis sp.</i>	Day lilies	Ex E
<i>Kniphofia Hybrids</i>	Red hot pokers	Ex E
<i>Lomandra longifolia</i>	Spiny-headed mat rush	N E
<i>Moraea bicolor</i>	False iris	Ex E
<i>Themeda australis</i>	Kangaroo grass	N E

D.7 CLIMBERS

Botanical Name

Clematis aristata
Gelsemium sempervirens
Hardenbergia violacea
Hibbertia scandens
Jasminum suavissimum
Kennedia coccinea
Lonicera splendida
Muehlenbeckia complexa
Pelargonium peltatum
Solanum jasminoides
Trachelospermum jasminoides
Vitis amurensis
Wisteria sinensis

Common Name

Australia clematis
Carolina yellow jasmine
Purple coral pea
Climbing guinea flower
Spicy jasmine
Coral vine
Pink honeysuckle
Maidenhair creeper
Ivy-leaf geranium
Potato climber
Star jasmine
Scarlet leaved vine
Chinese wisteria

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**APPENDIX F
ROXBURGH PARK DEVELOPMENT GUIDELINES
LANDSCAPE SUMMARY**



Roxburgh Park

DEVELOPMENT GUIDELINES SUMMARY: PART 3

LANDSCAPE

IMPORTANT INFORMATION

The Urban Land Authority (ULA) has a Comprehensive Landscape Program with the objective of creating a sustainable, easily managed and attractive landscape throughout Roxburgh Park. The ULA proposes the use of indigenous plant species to form treelined avenues and public open spaces of shady, sheltered areas with an open woodland character.

The program outlines landscape treatments for:

- *main entrances into Roxburgh Park, arterial roads and local streets;*
- *parks and recreation areas;*
- *walking/cycling paths;*
- *landscape staging and maintenance.*

The program also forms the basis for planting themes and patterns within private lots and will assist to create a unified landscape character throughout Roxburgh Park.

SUMMARY

GENERAL

☐ Owners must landscape gardens in public view within six months of occupation of a house on the lot.

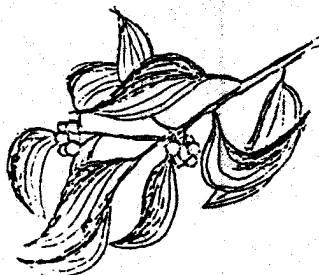
☐ A screen of attractive trees and shrubs helps increase privacy and hide service areas. Trees also provide protection from strong winds.

☐ Residents must control moisture variations and potential damage from tree roots in the vicinity of any adjoining building, particularly where the building is built to the boundary.

☐ Landscaped areas should be designed to drain appropriately and avoid water-logging.

☐ Excessive water use is costly and wasteful. There are simple ways of minimising the amount of water used around the garden including:

- minimising lawn areas;
- using hardy native plants;
- using watering systems to control the time and length of watering;
- deep, regular soakings (rather than quick, light watering which tends to run off and dries out quickly);
- mulching to conserve moisture around trees and plants;
- contouring areas to retain or capture water.



PLANT SELECTION

☐ It is recommended that plants be selected that are suitable for Roxburgh Park soils and climate. A list of suitable species is available from the ULA.

☐ Native trees and shrubs are generally fast growing, especially those species indigenous to the area.

☐ The careful selection and placement of deciduous trees helps to provide shade in summer and sun in winter.

☐ When selecting trees check the mature height and breadth of the species before planting. Plant trees where they are able to grow to full size.

continued on reverse

APPENDIX G

**ROXBURGH PARK DEVELOPMENT GUIDELINES
FENCES SUMMARY**



DEVELOPMENT GUIDELINES SUMMARY: PART 4

FENCES

IMPORTANT INFORMATION

The Urban Land Authority (ULA) requires via a Section 173 Agreement or as a condition in the contract of sale that the developer of each lot obtain the endorsement of the ULA for each fence between a street reserve and any building line, other than as exempted below.

Plans require the endorsement of the ULA as complying with the Roxburgh Park Development Guidelines.

The ULA endorsed plans have statutory status and lot owners are liable to legal action and costs if development is not in full compliance with the endorsed plans.

Fencing is not allowed within the specified minimum setback of buildings from street reserves unless special circumstances exist or as exempted below.

Endorsement will only occur if the ULA is satisfied that one or more of the following special circumstances exist:

- *the proposed fence is on a boundary shared with public open space, a tree reserve or a non-residential land use (other than a street reserve);*
- *the lot is part of a special housing area such as terraces or similar;*

- *the fence is between a building line and a street reserve and encloses principal private open space as detailed below.*

Each request for endorsement must be accompanied by the following material:

- *Endorsement Request form (available from the ULA or its authorised consultant);*
- *three site plans (drawn to scale and not reduced) fully dimensioned and showing all lot boundaries, the location of all buildings and the location of proposed fences.*

Endorsement for any fence will not occur where buildings on the land have not been endorsed or are not part of a combined fence/buildings endorsement request.

Endorsement will normally require a feature fence.

The ULA can also require a schedule of external finishes and colours. You will be advised.

Endorsement pursuant to a Section 173 Agreement or contract of sale is additional to and not in lieu of any State or Local Government planning or building approval requirements.

No building permit application can be considered by Council or private building surveyors without prior endorsement by the ULA.

SUMMARY

FENCES IN STREET RESERVE SETBACKS

☐ In order to achieve an open streetscape, fences between any building line and any street

reserves are not normally allowed.

☐ Where the ULA determines that special circumstances warrant endorsement of a fence between any building line and

any street reserve, the following provisions will normally apply:

- any fence must be of a height and design that takes into account the amenity and character of the street, the

continued on reverse

APPENDIX H

**ROXBURGH PARK DEVELOPMENT GUIDELINES
SIGNS SUMMARY**



Roxburgh Park

DEVELOPMENT GUIDELINES SUMMARY: PART 5

SIGNS

IMPORTANT INFORMATION

The Urban Land Authority (ULA) requires via a Section 173 Agreement or as a condition in the contract of sale that the developer gain the endorsement of the ULA for most signs on a lot. Some signs do not require ULA endorsement.

Plans require the endorsement of the ULA as complying with the Roxburgh Park Development Guidelines.

The ULA endorsed plans have statutory status and lot owners are liable to legal action and costs if development is not in full compliance with the endorsed plans.

Each request for endorsement must be accompanied by the following material:

- *Endorsement Request form (available from the ULA or its authorised consultant);*
- *three site plans (drawn to scale and not reduced) fully dimensioned and showing all lot boundaries, the location of all buildings and the location of proposed signs;*
- *three sets (drawn to scale and not reduced) of elevations of proposed signs fully dimensioned in respect of heights and lengths and detailing proposed construction materials and colour schemes.*

Endorsement pursuant to a Section 173 Agreement or contract of sale is additional to and not in lieu of any State or Local Government planning or building approval requirements. The onus is on the applicant to ascertain any such requirements.

SUMMARY

GENERAL

☐ All signs (other than exempt signs) must be endorsed by the ULA before being erected.

☐ One temporary sign may be erected and be on a lot at any one time without the endorsement of the ULA, provided that it is not an animated or internally illuminated sign and it is either:

- a sign related to the construction of a building on the lot on which the sign is displayed (for example, the name of the builder) where the sign is no larger than 915mm x 610mm in

size and is removed within seven days of completion of construction; or

- a sign publicising the sale of a property on which it is displayed where the sign is no larger than 1830mm x 915mm (with the long axis of the sign being vertical) and is removed within seven days of the signing of the contract of sale.



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OTHER CONTROLS

☐ This brochure summarises the main sign controls in the Roxburgh Park Development Guidelines. Other sign controls also apply.

☐ The Roxburgh Park Development Guidelines also include controls relating to house siting and design, non-residential development, landscaping, fences and other issues not referred to here.

☐ Owners/occupiers are required to comply with all of the parts of the Roxburgh Park Development Guidelines.

APPENDIX I

ENQUIRIES

APPENDIX I ENQUIRIES

Enquiries about the ULA, Roxburgh Park and the implementation of the Roxburgh Park Development Guidelines should be directed to:

Peter Vlitas
Project Manager
Urban Land Authority
Melbourne Central 11th Floor
360 Elizabeth Street
MELBOURNE VIC 3000
Telephone (03) 9664 8405
Facsimile (03) 9662 1666

Enquiries about the preparation, content and presentation of the Roxburgh Park Development Guidelines should be directed to:

Michael Collie
Collie Planning and Development Services Pty Ltd
324 Victoria Street
RICHMOND VIC 3121
Telephone (03) 9427 9688
Facsimile (03) 9428 3303

Collie Planning and Development Services Pty Ltd
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