



Office Use Only

Application No.:

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Date Lodged: / /

Application for Planning Permit

Planning Enquiries

Phone: 03 9205 2200

Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land **i** ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.: 6

St. Name: Binnak Court

Suburb/Locality: Meadow Heights

Postcode: 3048

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lot No.: 1851 ☐ Lodged Plan ☐ Title Plan ☒ Plan of Subdivision No.: 213168N

OR

B Crown Allotment No.:

Section No.:

Parish/Township Name:

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② **i** For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:

[How to Complete the Application for Planning Permit Form](#)

Proposed Dwelling at the back of existing House

📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ **i** Estimated cost of development for which the permit is required *

Cost \$250,000

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions **i**

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing single storey brick veneer dwelling with garage, pergola and carport

📎 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

5 Encumbrances on title *

If you need help about the title, read:
[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

☒ No

☐ Not applicable (no such encumbrance applies).

☒ Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number *

Owner *


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		
Title: Mr	First Name: Amir	Surname: Shamo
Organisation (if applicable): DDD Arch		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 2	St. Name: Jedburgh Place
Suburb/Locality: Greenvale		State: VIC Postcode: 3059
Contact person's details *		
Same as applicant (if so, go to 'contact information') <input checked="" type="checkbox"/>		
Name:		
Title: Mr	First Name: Amir	Surname: Shamo
Organisation (if applicable): DDD Arch		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.: 2	St. Name: Jedburgh Place
Suburb/Locality: Greenvale		State: VIC Postcode: 3059
Contact information		
Business Phone:		Email:
Mobile Phone: [REDACTED]		Fax:

Declaration

7 This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: [REDACTED]

Date: 22/ 10 / 2021

day / month / year

Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#). General information about the planning process is available at www.humecity.vic.gov.au.

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

- 8 Has there been a pre-application meeting with a Council planning officer?

☐ No ☒ Yes

If 'yes', with whom?:

Date: 29 / 09 / 2021


day / month / year


Checklist

- 9 Have you:

☒ Filled in the form completely?

☒ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

☒ A full, current copy of title information for each individual parcel of land forming the subject site

☒ A plan of existing conditions.

☒ Plans showing the layout and details of the proposal

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☐ If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

☐ If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

☒ Completed the relevant Council planning permit checklist?

☒ Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

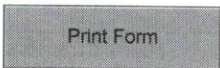
Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

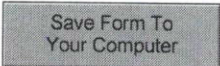
Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

 Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

 Save Form To Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

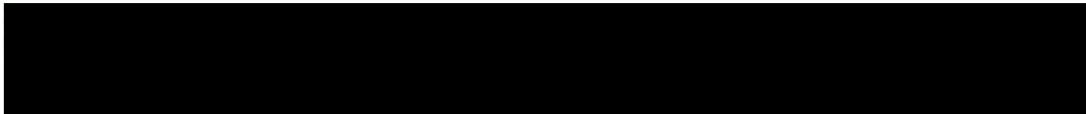
VOLUME 09888 FOLIO 053

Security no : 124092937567J
Produced 07/10/2021 03:05 PM

LAND DESCRIPTION

Lot 1851 on Plan of Subdivision 213168N.
PARENT TITLE Volume 09849 Folio 091
Created by instrument LP213168N 07/07/1989

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT (as to whole or part of the land) in instrument P554569C 04/12/1989

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP213168N FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 6 BINNAK COURT MEADOW HEIGHTS VIC 3048

ADMINISTRATIVE NOTICES

NIL

eCT Control 20486E GALILEE SOLICITORS PTY LTD
Effective from 23/04/2021

DOCUMENT END



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Document Identification	P554569C
Number of Pages (excluding this cover sheet)	3
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Lodged at the Titles Office by

ALLAN MOORE & CO. PTY.

Code

0027C

MADE AVAILABLE TO JSSB TO

Aug. Moore

041289 1058 45 32

REGD

P554569C

P554569C

VICTORIA

TRANSFER OF LAND

Subject to the encumbrances affecting the land including any created by dealings lodged for registration prior to the lodging of this instrument the transferor for the consideration expressed at the request and by the direction of the directing party (if any) transfers to the transferee the estate and the interest specified in the land described together with any easement hereby created and subject to any easement hereby reserved or restrictive covenant herein contained or covenant created pursuant to statute and included herein.

(Notes 1-4)

Land

(Note 5)

LOT 1851 ON PLAN OF SUBDIVISION NO. 213168N AND BEING THE LAND DESCRIBED IN CERTIFICATE OF TITLE VOLUME 9888 FOLIO 053.

Consideration

(Note 6)

THIRTY TWO THOUSAND DOLLARS (\$32,000.00) paid by ORBIT PROPERTIES PTY. LTD. to URBAN LAND AUTHORITY
THIRTY TWO THOUSAND DOLLARS (\$32,000.00) paid by PATRICK SEAN O'REILLY and PAMELA WINIFRED O'REILLY to ORBIT PROPERTIES PTY. LTD.

Transferor

(Note 7)

URBAN LAND AUTHORITY

Transferee

(Note 8)

PATRICK SEAN O'REILLY and PAMELA WINIFRED O'REILLY of 18 Ellison Street, East Malvern as joint proprietors.

Estate and Interest

(Note 9)

CODE:	44
DUTY:	1/2
S...	3.6.8
STATUS:	0
TYPE:	1
VALUE:	32,000
S...	32,000
ASSESSOR:	104

its estate and interest in the fee simple.

Directing Party

ORBIT PROPERTIES PTY. LTD.

STAMP DUTY VICTORIA (Note 10)
U#02011 S#1 T#025336 00092499 01/12/89
R#106630 D#44 \$568.00

Creation (or Reservation) of Easement

(Notes 11-12)

and/or
Covenant

"The Directing Party HEREBY for itself its successors assigns and transferees the registered proprietor or proprietors for the time being of the lot hereby transferred COVENANTS with URBAN LAND AUTHORITY pursuant to the provisions of Section 14 of the Urban Land Authority Act 1979 that:

T2

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A memorandum of the within instrument has been entered in the Register Book.



Approval No. T2/1

DEC 1989

(a) it will within a period of two years following the date hereof erect or cause to be erected on the said land at least one dwelling for disposal by sale; and

(b) it will not use the said dwelling for display purposes

and it is intended that this covenant shall appear as an encumbrance affecting the same and every part thereof on the Certificate of Title to be issued in respect of the Lot hereby transferred and FURTHER that this covenant shall forever run at Law."

Dated the 24th day of November 1989. (Note 13)

Execution and Attestation (Note 14)

THE COMMON SEAL of URBAN LAND AUTHORITY
was hereunto affixed in the presence of:

.....Chairman

.....Property Manager



THE COMMON SEAL of ORBIT PROPERTIES PTY. LTD.)
was hereunto affixed in accordance with its)
Articles of Association in the presence of:)

.....Director

.....Secretary



SIGNED by the said Transferees in the
presence of:

X B Wood.
Witness

X P.S. O'Reilly
X P.W. O'Reilly



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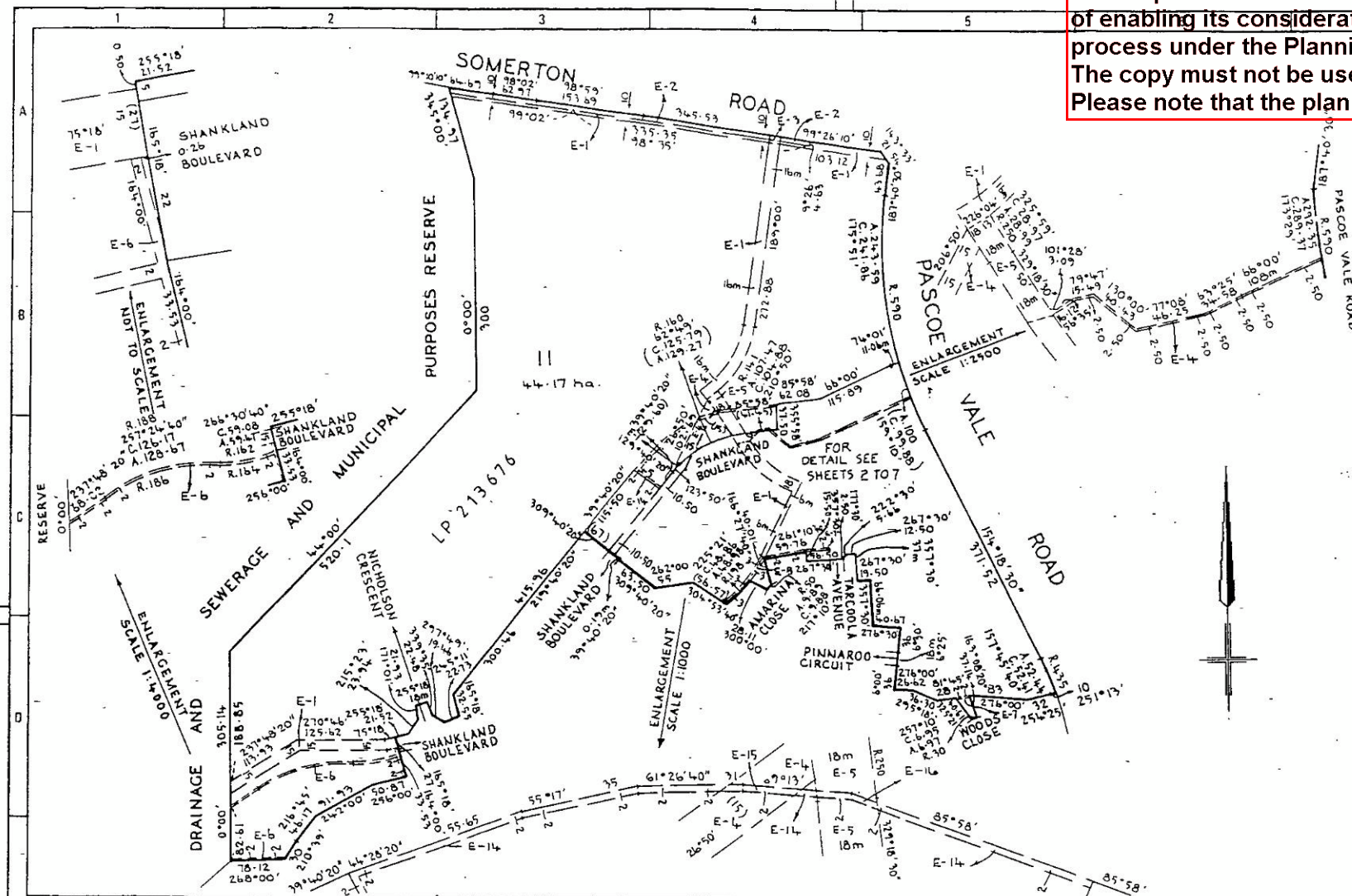
Document Type	Plan
Document Identification	LP213168N
Number of Pages (excluding this cover sheet)	10
Document Assembled	07/10/2021 15:11

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LP 213168 N
EDITION 5
DISH TOWN CHART 2 + 14



NOTATIONS

LAND SUBJECT TO EASEMENT

E-1, E-2, E-3 EASEMENT FOR PIPELINE PURPOSES IN FAVOUR OF M.M.B.W. BY VIRTUE OF SECTION 258 BA OF THE M.M.B.W. ACT.

E-4, E-5, E-6 EASEMENT TO THE S.E.C. OF VICTORIA INSTRUMENT N° 1617489

E-2 & E-3. ELECTRICITY SUPPLY EASEMENT VIDE L.P. 1287184

E-4, E-5, E-10, DRAINAGE EASEMENT VIDE L.P. 148394 P.

E-11, E-15, E-16. DRAINAGE & SEWERAGE EASEMENT VIDE L.P. 203915

E-7, E-8, E-12, DRAINAGE & SEWERAGE EASEMENT VIDE L.P. 212338

E-12 & E-13 USE OF THE SEC. OF VICTORIA FOR POWERLINE PURPOSES PURSUANT TO SEC 103B OF THE SEC. ACT 1958. VIDE L.P. 221300

E-9, E-10, E-11, TELECOMMUNICATION PURPOSES & E-17. VIDE L.P. 212338

LAND APPROPRIATED OR SET APART

E-14, E-15, E-16 DRAINAGE & SEWERAGE

E-18

E-18 & E-19. USE OF THE SEC. OF VICTORIA FOR POWERLINE PURPOSES PURSUANT TO SECTION 103B OF THE SEC. ACT 1958.

ROADS WITHIN THE THICK CONTINUOUS LINES FOR WAY, DRAINAGE, SEWERAGE AND THE SUPPLY OF WATER, ELECTRICITY, TELEPHONE & GAS.

LOT NUMBERS 1 TO 10 (BOTH INCLUSIVE), 12 TO 14 (BOTH INCLUSIVE), & 174-4 TO 1774 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.

TO BE COMPLETED WHERE APPLICABLE
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS
IN PROCLAIMED SURVEY AREA NO.

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES
TITLE REF: V. 9849 P. 091
LAST PLAN REF: LOT 10 L.P. 212338 (6674/12)

PLAN OF SUBDIVISION

COUNTY BOURKE
PARISH YUROKE
SECTION 4
CROWN ALLOTMENTS G & J (PART)
SECTION 5
CROWN PORTIONS 1 & H (PART)
LITHO CHARTS 2 & 14
NUMBER OF SHEETS IN PLAN 8
NUMBER OF THIS SHEET 1

SCALE
100 50 0 100 200
LENGTHS ARE IN METRES
ORIGINAL SCALE SHEET SIZE 1:5000 A2

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LP 213168 N
VICTORIA

CERTIFICATION BY SURVEYOR

AMENDMENTS
AMENDMENT TO C-4 EMENT IN LOT 11 & E-14 EMENT IN LOT 1564.
NICHOLSON CRESCENT AND SHANKLAND BOULEVARD
ADDITIONALS ADDED
E-14 EASEMENT INCLUDED IN LOTS 11, 1567 TO 1670 (BOTH INCLUSIVE), 1862, 1824.
E-14 EMENT DELETED FROM 1887, 1888, 1889, 1890, 1860, 1853, 1815 & 1863.

PEYTON WAITE PTY. LTD.
CONSULTING LAND SURVEYORS
353 Plenty Road, Preston, 3072. Phone 478 4933

SURVEYORS REF. N° OF LOTS 78
4696/13
AREA 14.63 ha
PLAN G

CERTIFICATE OF MUNICIPAL CLERK

MUNICIPALITY CITY OF BROADMEADOWS COUNCIL REF.

CERTIFICATE A
THIS PLAN ACCORDS WITH A PLAN
• RESEALED BY THE COUNCIL UNDER SEC 569BAA OF THE LOCAL GOVERNMENT ACT 1958 ON
• CONFIRMED BY THE PLANNING APPEALS BOARD ON
• AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE
• THE RESEALED PLAN WAS FIRST SEALED ON 29TH AUGUST 1985

DATE MUNICIPAL CLERK

CERTIFICATE B
THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY
• THE COUNCIL ON
• THE PLANNING APPEALS BOARD ON

DATE MUNICIPAL CLERK

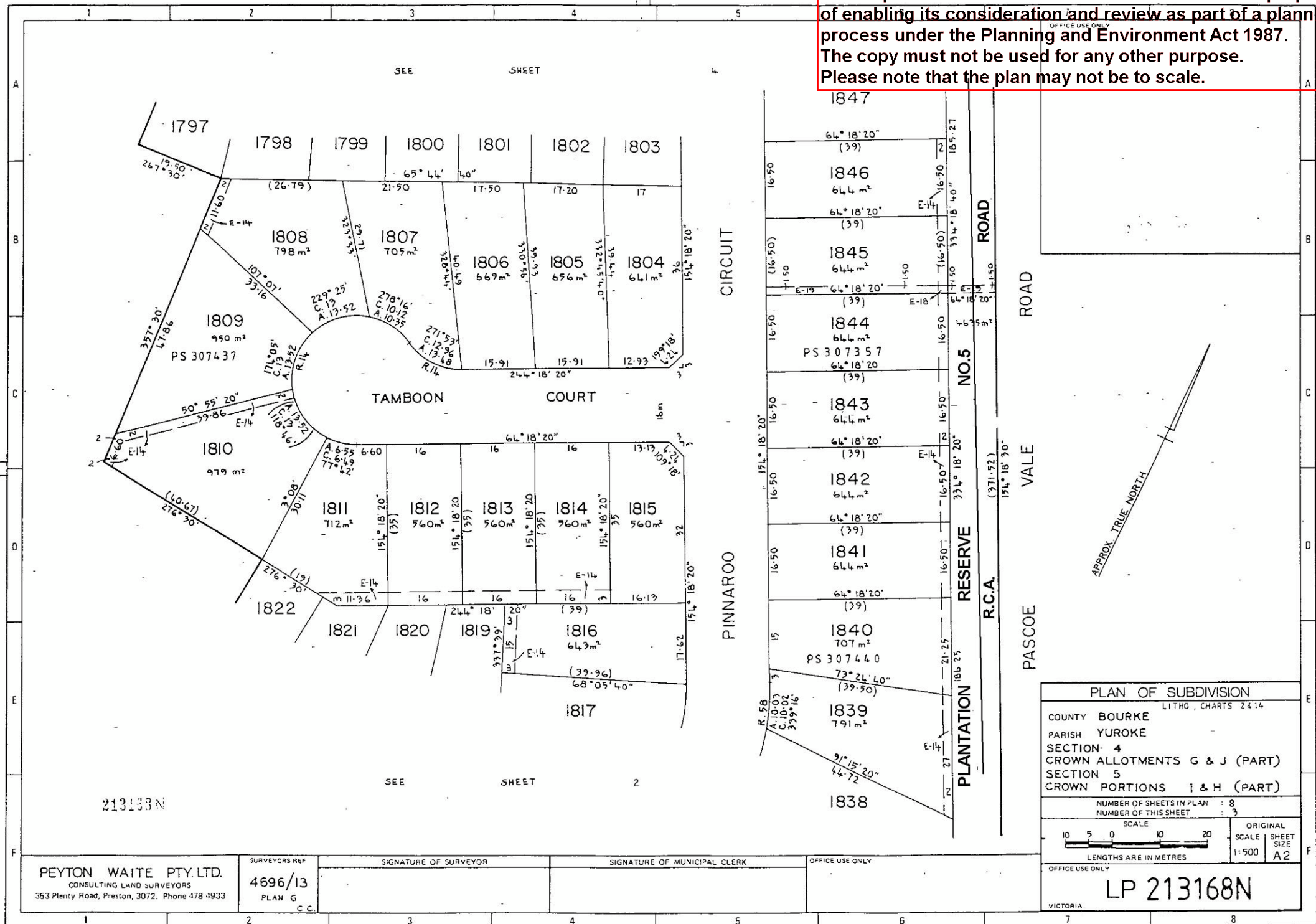
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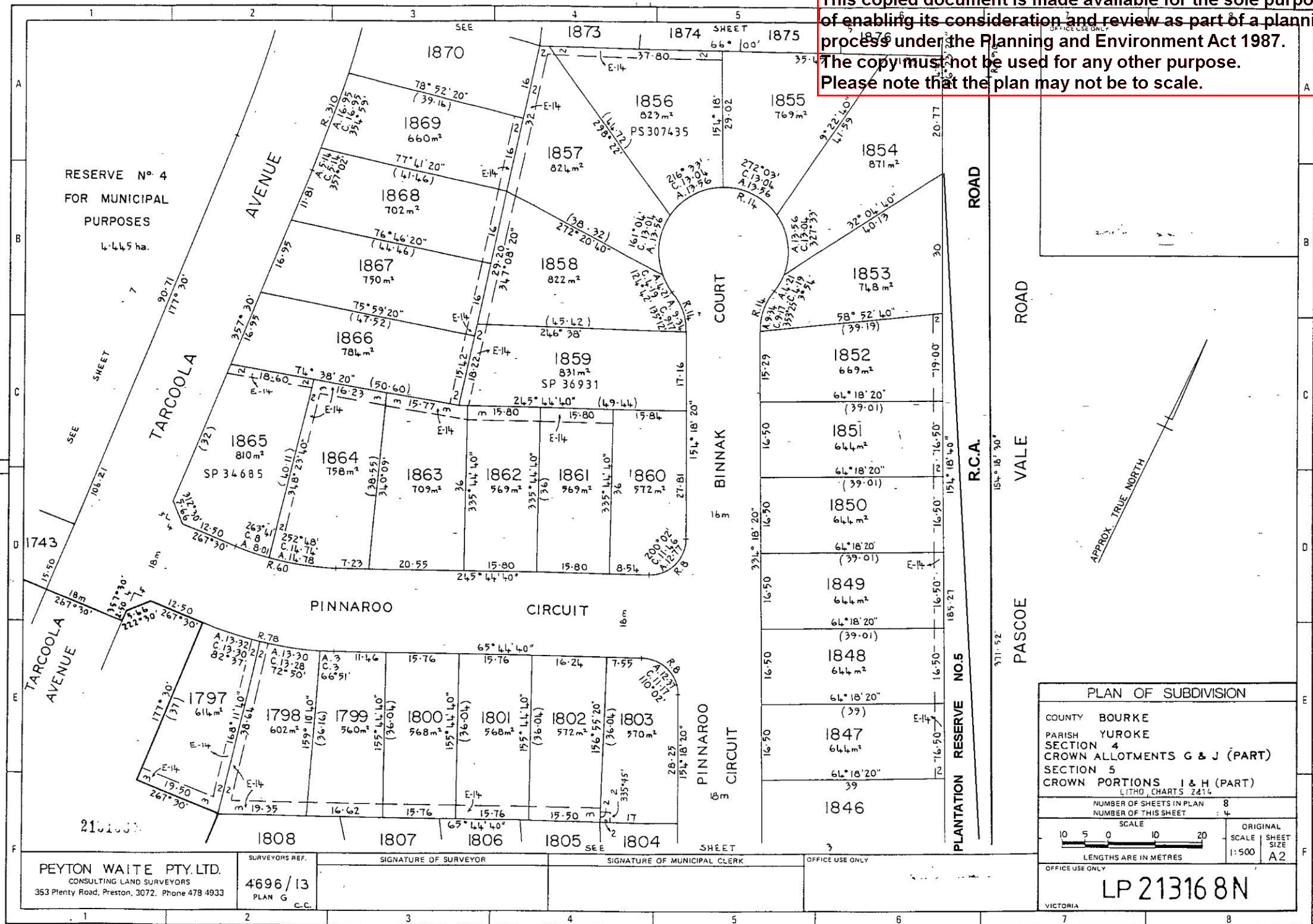
PLAN APPROVED
AT
ON 7-7-89

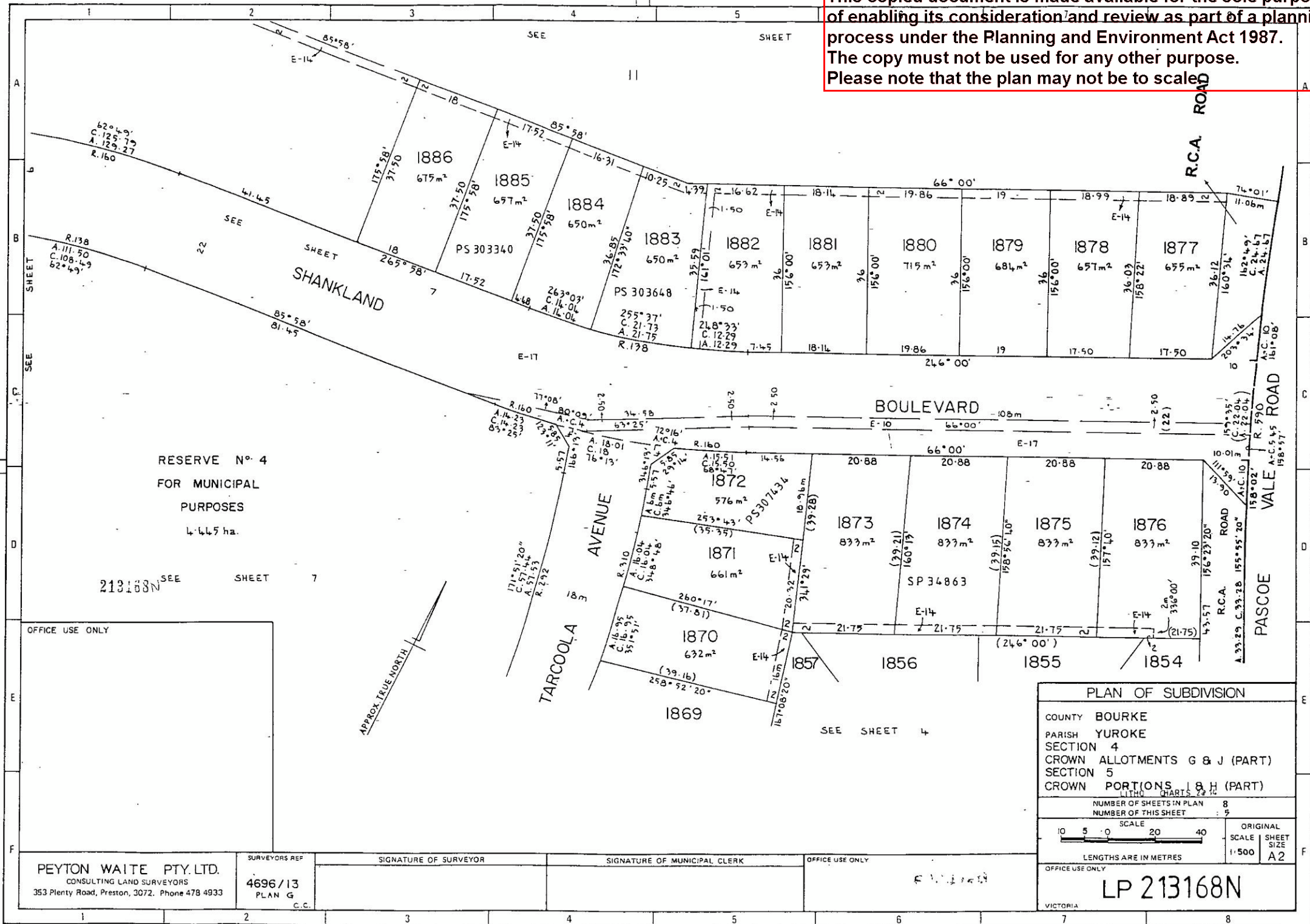
(ASSISTANT) REGISTRAR OF TITLES

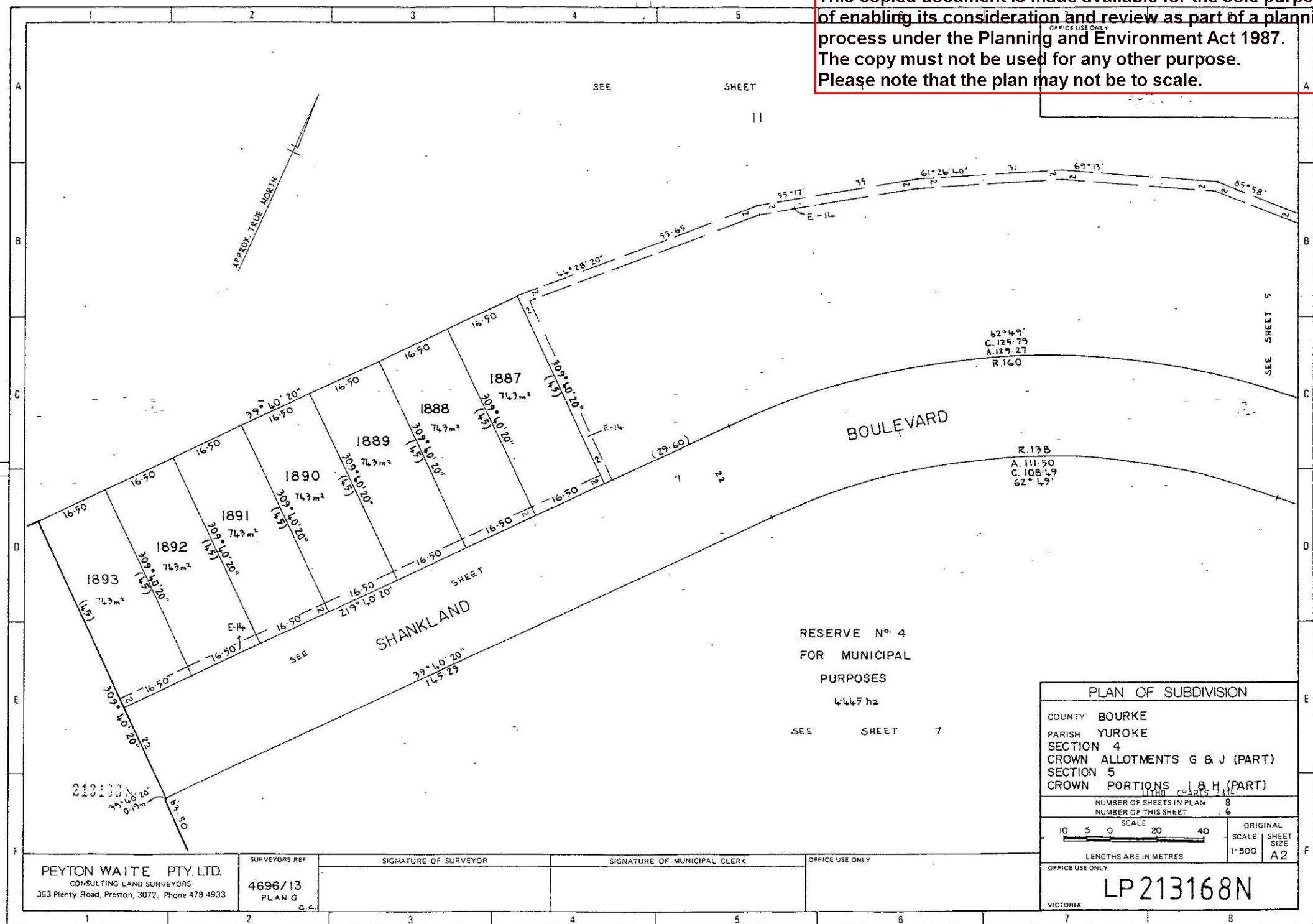
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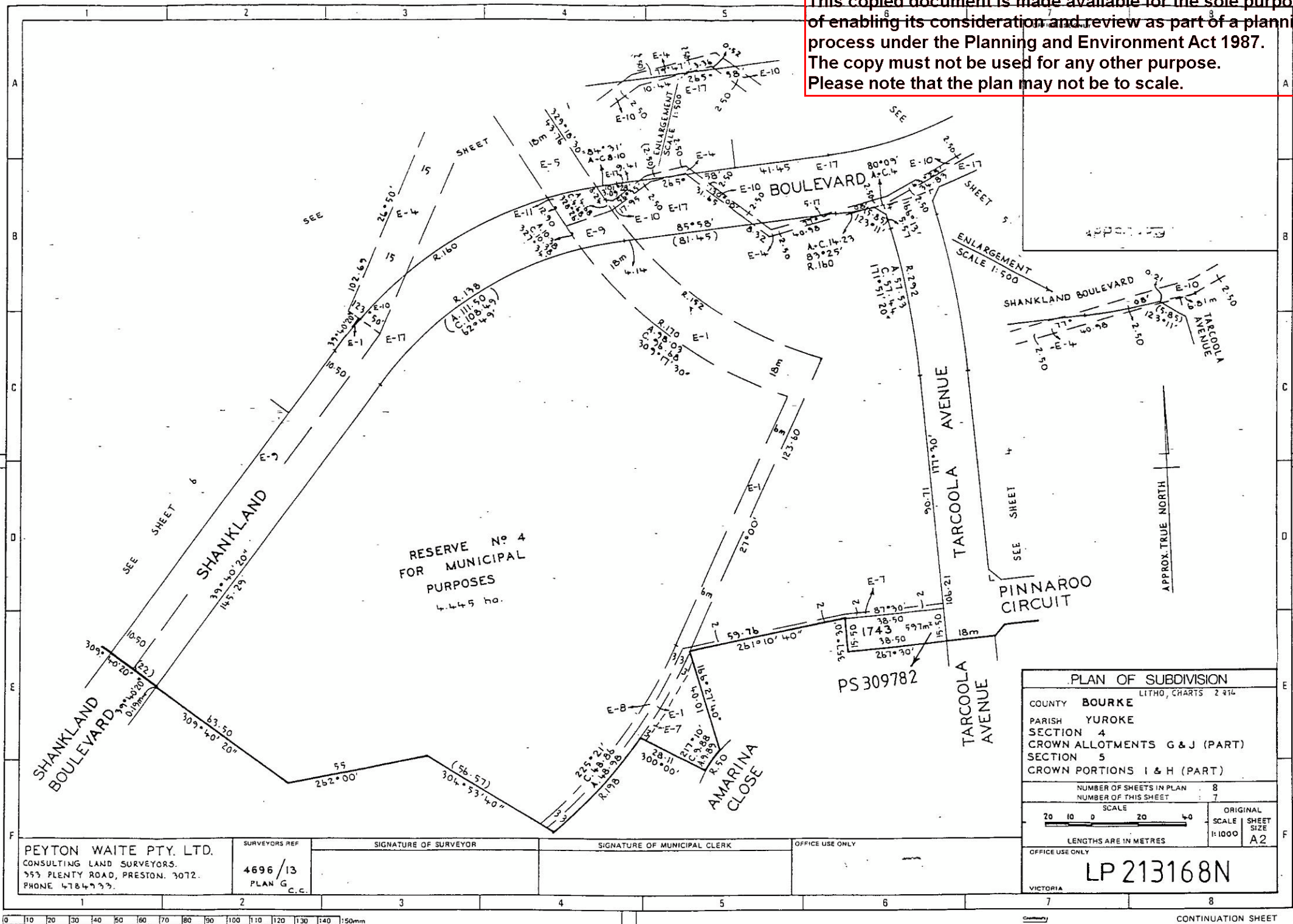












PEYTON WAITE PTY. LTD.
CONSULTING LAND SURVEYORS.
353 PLENTY ROAD, PRESTON. 3072.
PHONE 4784777.

SURVEYORS REF
4696/13
PLAN G.C.C.

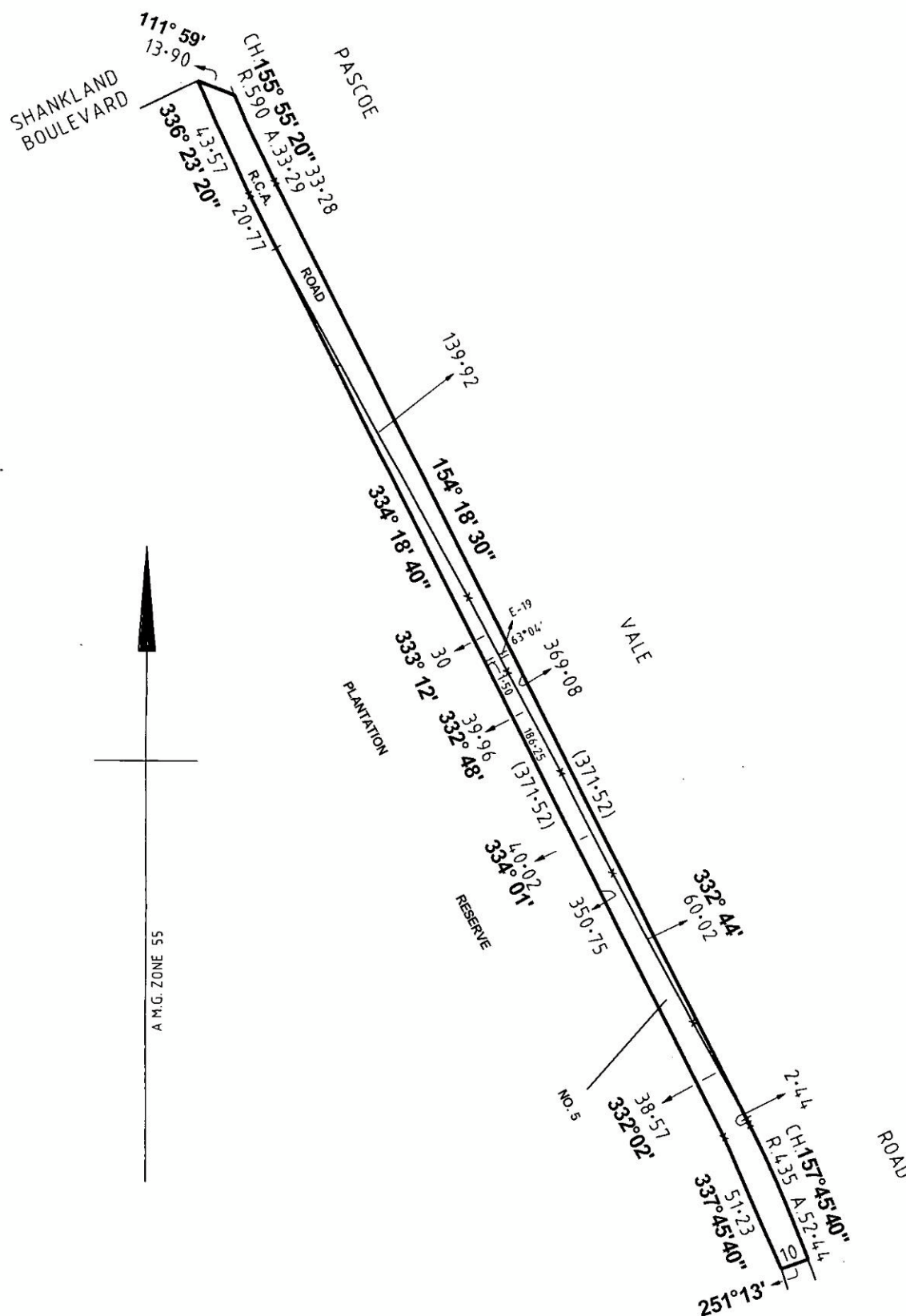
SIGNATURE OF SURVEYOR

SIGNATURE OF MUNICIPAL CLERK

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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
SECTION	4
CROWN ALLOTMENTS	G & J (PART)
SECTION	5
CROWN PORTIONS	I & H (PART)
NUMBER OF SHEETS IN PLAN	8
NUMBER OF THIS SHEET	7
SCALE	1:1000
ORIGINAL SCALE SIZE	A2
LENGTHS ARE IN METRES	
OFFICE USE ONLY	
VICTORIA	
LP 213168N	

Under section 24 of the Subdivision Act 1988



Sheet 8 of 8 Sheets

SCALE

15 0 15 30 45 60

LENGTHS ARE IN METRES

USTN FILE -LI&S/nwmetro02/21283psc.dgn

LICENSED SURVEYOR **KENNETH DOUGLAS ADAMS**
(PRINT)

SIGNATURE _____ DATE / /

JBN 21283

REF SP20009B^{PS}

VERSION

•

DATE /



COUNCIL DELEGATE SIGNATURE

Original sheet size A3

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER
LP213168 N

LAND	MODIFICATION	DEALING REFERENCE	DATE AND TIME ENTERED		NEW EDITION NUMBER	SIGNATURE OF ASSISTANT REGISTRAR OF TITLES
			DATE	TIME		
LOT 1874	RESUBDIVISION	SP 34863			2	
LOT 1883	"	PS 303648			"	
LOT 1743	"	PS 309782			"	
LOT 1821	"	PS 335990			3	
LOT 1885	SUBDIVISION	PS 303340			4	
RES. NO,S 1 & 3	REMOVAL OF RESERVE STATUS	PS504560B			5	G.D.H.

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER
LP213168 N

LAND	MODIFICATION	DEALING REFERENCE	DATE AND TIME ENTERED		NEW EDITION NUMBER	SIGNATURE OF ASSISTANT REGISTRAR OF TITLES
			DATE	TIME		
LOT 1882	REMOVAL OF EASEMENT	AP67818 SEC 73	25-11-91		2	
LOT 11	RESUBDIVISION	LP 213676			"	
LOT 1828	" "	PS 307445			"	
LOT 1832	" "	PS 311833			"	
LOT 1835	" "	PS 307439			"	
LOT 1809	" "	PS 307437			"	
LOT 1840	" "	PS 307440			"	
LOT 1844	" "	PS 307357			"	
LOT 1859	" "	SP 36931			"	
LOT 1856	" "	PS 307435			"	
LOT 1865	" "	SP 34685			"	
LOT 1872	" "	PS 307434			"	

RESCODE
EVALUATION
ANALYSIS
REPORT
FOR

No. 6
BINNAK COURT,
MEADOW HEIGHTS, VIC 3048

TWO UNITS
DEVELOPMENT

Rev-2
9 - 12 - 2021

Introduction

This RESCODE evaluation has been prepared for No. 6 Binnak Court, MEADOW HEIGHTS. The evaluation puts the two unit design against the standards set out by RESCODE (as implemented on 26.08.2001), in an effort to prove its validity as a development.

In preparing this evaluation, a site inspection was carried out, followed by a site context plan and report, outlining existing conditions, advantages and constraints of the site in question. A design was then prepared, following the standards set out by RESCODE as closely as possible.

As part of the assessment, the following development summary has been prepared:

Development summary

Number of dwellings:	2
Site area:	644 sqm approx.
Total built area coverage:	285.26 sqm
Total built area %	44.3 %

Proposed private open space

Unit 1	50.22 m2
Unit 2	72.57 m2

Permeable ground	208.37 m2
Permeable ground %	32.36%

Proposed car spaces

Unit 1	2 (1 under cover)
Unit 2	2 (2 under cover)

Site Analysis

The site comprises a uniform block of land in Binnak Court of approximately 644.0 square meters. The length and width of the site allows for 2 dwellings to be situated on the site in tandem configuration. There are no covenants on the property regarding the construction of more than one dwelling.

The streetscape-character of the dwellings adjoining the subject site is detached single-storey dwellings with tiled roofs. The dwellings generally have attached garages and the front setbacks generally vary between 6.0m and 8.3m. The majority of houses have no front fence, except for a few properties that have front fences, predominantly low to medium height made from different materials: steel pickets, timber paling or low face brick fence.

Landscaping is poor to moderate varying between lawn areas, some overgrown shrubs and medium size trees. Rear yards generally have no large trees. Boundary fences are generally 1.6 - 2.0m high timber paling fences.

The subject site is within close proximity to public facilities including schools, shopping, sport, medical, recreational and municipal facilities.

Design Response

The proposal is to construct one double storey brick veneer dwelling to the rear of existing single storey house, with 5 bedrooms, whereas the existing house has 3 bedrooms. (Covering approximately 285.26 sqm) with attached double garage for unit-2 and construction of a single carport for unit-1, with all associated fencing, landscaping and crossover.

The predominant style of the street is single and double storey dwellings constructed with brick veneer, fibre cement cladding and concrete tile roofs. We have therefore designed the proposal to fit in and respond well to the neighbourhood and streetscape character. The use of face brick, rendered brick, fibre cement cladding with concrete tiled roofs has been adopted to the facade and side elevations of the proposal as these are common types of materials used in Binnak Court.

The proposal responds well to the site, which has 644.0 sqm of area to fit two dwellings as well as large size private open space for each dwelling. The proposed dwelling will be in tandem configuration (at the rear of existing dwelling), the front setback of the existing dwelling is not going to change.

The proposed double story dwelling will be hidden by the presence of the existing single story dwelling in the front of the site and the presence of a large tree in the front yard of the subject site and will therefore have no visual impact on the streetscape of Binnak Court.

The proposal will have pitched roof forms that allow for an architectural correlation with the surrounding construction and provide a typical interpretation on the prevalent building styles in the area.

We feel our proposal incorporates common suburban styles prevalent in other areas of Hume City Council, and respond to the specific Design Objectives of Meadow Heights Urban Design Policy and Neighbourhood Character Study.

55.02-1 Neighbourhood Character

Standard B1

The site has many unit developments in the near vicinity. Majority of them are 2-units developments in tandem configuration and a few side by side configurations. The closest examples are No-3 & No-9 Binnak Court.

Also there are 17 two-unit developments @ Pinnaroo Cct. at No-1, No-7, No-11, No-13, No-21, No-41, No-43, No-10, No-16, No-18, No-32, No-40, No-48, No-52, No-58, No-60, No-62. And 1 three-unit development at No-17 Pinnaroo Cct.

There are also 4 two-unit developments at No-1, No-2, No-5, No-10 Paltara Close and 4 two-unit developments at: No-1, No-2, No-6 and No-9 Tamboon Court in addition to 5 tow-unit developments at: No-7, No-8, No-14, No-17 and No-21 Woods Close. Yarralla Court have another 3 tow-unit developments at: No-1, No-4 and, No-8.

Some scattered tow-unit developments can be found at No-80 Tarcoola avenue (corner block development ,No-113 Shankland Boulevard (side by side development and No-118 Shankland Boulevard (tandem configuration development)

Existing neighbourhood character comprises mixture of single and double storey brick veneer dwellings with tiled and roofs pitched between 20 & 30 degrees, with some dwellings having a combination of pitches. Windows are predominantly aluminium.

The houses with garages generally have them attached to the side/rear of the property.

Front setbacks vary greatly in Binnak Cres. from 6.3m to 9.7m. The property to the north of the subject site No 2 Binnak Cres. has a front setback at 6.5m and the property to the south is setback at 9.7m. The required average set back should be 7.1m. The proposed dwelling will be located at the rear of existing dwelling , so there will be no change to the existing front setback.

Proposed dwelling is to be constructed with a combination of the prevalent building styles and materials. It will be constructed of brick veneer walls and some rendered sections in addition to weatherboard cladding for upper floor. The pitched roofs will be constructed of concrete tile as a common material, and aluminium windows are commonly used in most of the dwellings in Binnak Cres. This collection of materials will easily co-inside with the existing streetscape character established.

5 5.02-2 Residential Policy Objectives

Standard B2

The proposed development carries many advantages due to the location of the property taking advantage of nearby community infrastructure and services. It also respects neighbourhood character and the State Governments Planning Policies including the Residential Design Provisions.

There is no covenant on the title of the property preventing the construction of an additional dwelling.

55.02-3 Dwelling Diversity

Standard B3

The proposed development does not fall within this category.

55.02-6 Infrastructure

Standard B4

The proposed development is located in an area where it can be connected to services such as sewerage, drainage, electricity, gas & water. The development will not overload the capacity of its utility services and infrastructure.

Both dwellings will be provided with at least minimal 1 open space with provision for clothes drying facilities, rubbish bin storage and letter boxes. Paving is minimal with at least 31.85% permeable grounds assisting in natural drainage of stormwater in addition to the provision of water tanks to store rain water. Parking is adequate @ 2 cars per unit and should leave the streets uncluttered.

55.02-5 Integration with the Street

Standard B5

Only the existing dwelling will be seen from the street, integrating with other properties, especially with the presence of large size tree in the front yard of the subject site which will help blend the development with the streetscape. The existing 1.6m steel picket fence will be modified to be 1.2m high to be more sympathetic with the streetscape of Binnak Court.

Surveillance of vehicle parking areas and the street is very easy for both dwellings.

Proposed development provides for min. 3.0m driveway to maintain local accessibility.

55.03-1 Street Setback

Standard B6

Standard B6 requires front unit to be setback the average of the adjoining dwellings or 9m whichever the lesser. Setbacks on Binnak Cres. are varied ranging between 6.0m and 8.3 m.

8 Binnak Ct. has a front setback of 6.9m and 4 Binnak Ct has a front setback of 6.4m. Therefore, the average setback is 6.65m. However, as there is an existing dwelling, the front setback will not be changed and will remain 6.15m.

The proposed dwelling will be located at the rear of existing dwelling so there will be no change to the existing front setback.

55.03-2 Building Height

Standard B7

The overall heights of the proposed dwelling are less than 9.0m, hence respecting the objective. Proposed unit is approximately 7.38 m high.

55.03-3 Site Coverage

Standard B8

The total coverage of dwellings including garages totals 285.26sqm. This equates to 44.3 total site coverage. This is way below the allowed 60%.

55.03-6 Permeability Objectives

Standard B9

The proposed development has more than 20% of impervious finishes, which falls within the required amount, this will help to reduce the impact of storm water run-off on the drainage system and facilitate the on-site storm water infiltration.

Permeable areas, which include the grass, mulched garden beds and crushed rock; are 32.36%.

55.03-5 Energy Efficiency

Standard B10

The development will achieve a minimum of 6 star rating for the proposed unit in accordance with current building regulations. The development has been designed to respect the reduction in the use of fossil fuels.

The compact floor plan design will minimize the area of exterior building envelope / floor area ratio, which will help to reduce the thermal loss or gain throughout the year increasing the energy efficiency of the development.

The design has taken into consideration the orientation of the site and therefore has been designed accordingly.

The Appropriate insulation; (as per energy rating report) shall be used to achieve 6 star rating. The west facing windows in the development will be shaded by the existing trees at the backyard of 8 Binnak Ct.

The new development will not affect the energy efficiency of adjoining developments as it will not block the sunlight from any adjoining property nor cast shadows on them.

55.03-6 Open Space Objective

Standard B11

The development incorporates each dwelling to have their individual private open space with no obstructions on its North side appropriately keeping the sun light accessing the private open space, furthermore, existing dwelling also contains an open space area addressing Binnak Ct., which is the typical open space known as the front setback to all developments within the street.

The site is within walking distance to larger local parks and reserves (Shankland Boulevard Reserve), hence satisfying the standard.

55.03-7 Safety Objective

Standard B12

The proposed development has been designed to ensure the layout provides for the safety and security of residents and property in relation to safe access ways, good lighting and visibility.

1.8m high fences will separate private open spaces. Front and rear yards are as secure as possible. Access ways are open and well lit. Each dwelling has its own sense of identity.

Overlooking shall not occur due to the good design of the upper floor. Visibility is good for both units.

55.03-8 Landscaping Objective

Standard B13

The site is currently an old (more than 20 years old) dwelling with neglected backyard occupied currently with low level ground cover and some small shrubs in bad condition.

Mulched bed areas have been located for appropriate planting of trees to screen noise and increase the aesthetic of the development.

For all landscape details refer to the Landscape Plan, which will add to the development of the site. Meanwhile providing the aesthetic appeal of the new development. The Landscape Plan uses drought tolerant native plants of Victoria.

55.03-9 Access Objectives

Standard B14

The proposal extends the existing concrete crossover at the eastern end of the frontage to access both units.

The existing crossovers will occupy no more than 33.3% of the street frontages. This will service both units without increasing parking issues along the kerb.

Proposed access way will be min. 3.0m wide, which achieves the required standard.

55.03-10 Parking Location Objectives

Standard B15

Each dwelling provides for covered car spaces in lock-up garage or carport.

All car spaces are easily accessible and conveniently located which avoids parking and traffic problems on the site. Proposed unit parking area is connected to its dwelling and has access to the living room and rear yard of the dwelling.

55.06-01 Side and Rear Setbacks

Standard B17

All proposed walls not on or within 150mm of a boundary are setback from side or rear boundary more than 1m, plus 0.3m for every metre of height over 3.6m, plus 1m for every metre of height over 6.9m.

Setbacks to the rear boundary will be 3.2m for the proposed unit.

The proposed development has no impact on the amenity of the habitable room windows and secluded private open spaces of the existing dwellings at No 4 and No 8 Binnak Ct.

55.06-02 Walls on Boundaries

Standard B18

No unit walls on boundaries will exceed 10m+25% of the remaining length of that boundary, or 3.2m in height. This is acceptable within RESCODE guidelines

Garage side walls of proposed unit on the boundary do not exceed 3.2m in height and have been located only where necessary to limit the visual bulk.

There is one wall on the north-west boundary with a length of 6.34m (proposed unit 2 garage wall).

RESCODE allows up to 17.27m of boundary walls on a boundary of 39.1m of length, with which will comply. The proposal shall have no more than this on any one boundary.

5 5.06-03 Daylight to Existing Windows

Standard B19

Proposed dwellings do not encroach upon any existing habitable windows. They are too far away to be disturbed by the proposed dwelling.

Overshadowing or overlooking issues will not affect existing windows.

55.06-06 Existing North - Facing Windows

Standard B20

The proposed development has no overshadowing to existing north-facing windows. The existing ground floor windows at No 4 Binnak Ct. are too far away to be affected by the proposed development.

5 5.06-05 Overshadowing Open Space

Standard B21

RESCODE states that neighbouring dwellings are to receive minimum 5 hours sunlight over 75% of its open space between 9am and 3pm on March 21 and Sep 23 equinox.

The shadow diagram shows this is achieved easily, with only 3.79% additional shadows on the private open space of No 4 Binnak Ct at 3PM. Shadows fall mainly within the subject site.

55.06-06 Overlooking

Standard B22

As the proposed dwelling is double storey, the first floor windows of bedroom 5 and bathroom are designed to have a window sill of 1.7m above finished floor level. While the windows of bedroom 3, bedroom 4, and retreat are facing Pascoe Vale Road and have no overlooking towards No 4 and No 8 Binnak Ct. The Stairs window has no overlooking effect on No 8 Binnak Ct. as it is more than 9m away.

Overlooking is not an issue with this proposal.

5 5.06-07 Internal Views Objective

Standard B23

Due to the design of the development in tandem configuration, views are limited into secluded private open space and front open space of the same dwelling only. Each private open space will have its own fencing up to 1.8m high.

55.06-08 Noise Impact

Standard B24

Noise impact is minimal due to insulation being incorporated into the design of the units and mechanical services will be located in areas that transmit minimal noise. Fences are to be 1.8m high and to be landscaped to screen any possible open space noise from neighbouring properties. Driveways will also be landscaped as much as possible to avoid traffic noise.

55.05-01 Accessibility Objective

Standard B25

As both existing and proposed dwelling have their living area on the ground floor and have at least 1 bedroom on the ground floor, each unit will have a good access for people with limited mobility due to the flat areas on the site and the low floor to natural ground level. Proposed unit also consists of open plan living areas aiding mobility to the area.

55.05-02 Dwelling Entry Objectives

Standard B26

Both existing and proposed unit have their own entry and porch creating its own identity, which can be easily recognized, hence satisfying the objective. Entry for the dwellings is easily visible from the street and accessible via paved paths. Entries provide shelter and transitional space to the dwelling, and they will be well lit at night. Each dwelling has direct access to their respective car parking areas.

55.05-03 Daylight to New Windows

Standard B27

All habitable room windows in the proposed dwelling will have adequate daylight and each dwelling will also have habitable windows facing their open space. All habitable windows have access to at least 3.0sqm of daylight.

55.05-06 Private Open Space

Standard B28

Both existing and proposed dwelling have their own private open space, which satisfies the required amount of 40sqm.

Dwelling 1 has 50.22 sqm of private open space, with 1 portion of secluded private open space of 29.02 sqm with a minimum width of 3.0m.

Dwelling 2 has 72.57 sqm of private open space, with 1 portion of secluded private open space of 52.80 sqm with a width of 3.2m.

Each private open space can be easily accessed from the living area of that unit.

55.05-05 Solar Access to Open Space

Standard B29

Both dwellings open spaces have access to north sunlight and will be in direct sunlight for most of the day with welcome partial shading in the noon time for these areas.

55.05-06 Storage Objective

Standard B30

Each dwelling has adequate storage facilities, which are easily accessible and are a minimum of 6m³. Both existing and proposed dwelling have 6m³ of external storage at the garden shed. Rubbish bins storage has already been accounted for.

55.06-0 1 Design Detail

Standard B31

The proposed development has been designed with facade articulation and roof forms in mind. Proposed unit has articulation to the facade with the use of various common materials.

Proposed dwelling is to be constructed with a combination of the prevalent neighbourhood building styles and materials.

It will be a combination of brick veneer, rendered brick, fibre cement cladding, with concrete tile roof forms and aluminium windows. This easily coincides with the existing streetscape character established.

The proposal is to construct one new double storey dwelling, (covering approximately 148.59 sqm) including attached garage, and construction of the single carport for unit-1 with all associated fencing and landscaping.

The proposal will have pitched roof forms, which allow for an architectural correlation with the surrounding construction styles and provide a modern interpretation on the prevalent building styles in the area.

55.06-02 Front Fences

Standard B32

The subject site has a 1.6m high steel picket fence. This will be modified, reducing its height to 1.2m high, making it more sympathetic to the streetscape of Binnak Ct which has minimal front fences.

55.06-03 Common Property Objectives

Standard B33

The site will have some common property. Both units will share the driveway, however, each dwelling will have their own car parking, open space, and amenities.

The common property will be landscaped, well lit and large enough to service the dwellings.

55.06-06 Site Services

Standard B34

All services will be located where they cannot be viewed from street frontages where possible, if not, they will be screened with landscaping. Space for bins and recycling bins has been allocated away from views of living areas and street frontage. Meter box and mailboxes for both units have been allocated to the front of the property near the driveway for easy access and identification.

Conclusion

The proposal meets almost every standard with ease. The proposal meets objectives to keep within streetscape character, within setbacks and within parking provisions. The proposal makes a positive contribution to the area and causes little to no detriment effect to adjoining properties or existing services.

The proposal will have pitched roof forms, which allow for an architectural correlation with the surrounding construction styles, and provide a new modern interpretation on the prevalent building styles in the area.

We feel our proposal incorporates common development styles prevalent in other areas of Hume City Council.

We feel that this proposal is a positive development for Binnak Ct. as some of the existing structures currently appear to be over 20 years old with some of them in dire need of maintenance.

We hope that all future developments in the area propose dwellings with similar architectural features and allow for the progress and development of Binnak Court.

52.06 Car Parking

As a two units development site, the car parking will be assessed according to provisions of clause 52.06.

The appropriate number of car spaces meets the required amount in table-1 of this clause, providing adequate and convenient parking for each unit.

Unit-1 has three bedrooms and therefore provides for two car spaces, one in the proposed single carport and one uncovered car space.

Unit-2 has five bedrooms and therefore provides for two covered car spaces in double lockup garage.

Therefore, the necessity for on-street parking is reduced.

Design standard 1- Access ways

The Common access way/driveway is at least 3m wide, and will have landscaping and lighting.

Design standard 2- Car parking spaces

Car spaces in garages or carports should be at least 6m long and 3.5m wide for a single space and 5.5m wide for a double space measured inside the garage or carport.

Car space in 90 degree parking should be at least 4.9m long and 2.6m wide.

This is achieved in the garage and carport of the proposed development.

Design standard 3- Gradients

This does not apply to access ways serving three dwellings or less.

Design standard 4- Mechanical parking

No mechanical parking spaces in proposed development.

Design standard 5- Urban design

The design of dwellings makes a great consideration for the integration of garage doors within the architectural facade, in addition to the use of landscaping elements to reduce the visual dominance on the public space.

Design standard 6- Safety

Proposed garage and carport will be well lit and will provide surveillance and pedestrian visibility.

Design standard 7- Landscaping

Proposed Access way/driveway will be landscaped to soften the appearance of ground level car parking.



MEADOW HEIGHTS LOCALITY PLAN - NTS

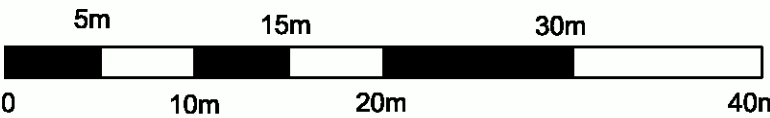
NSDP NOTES

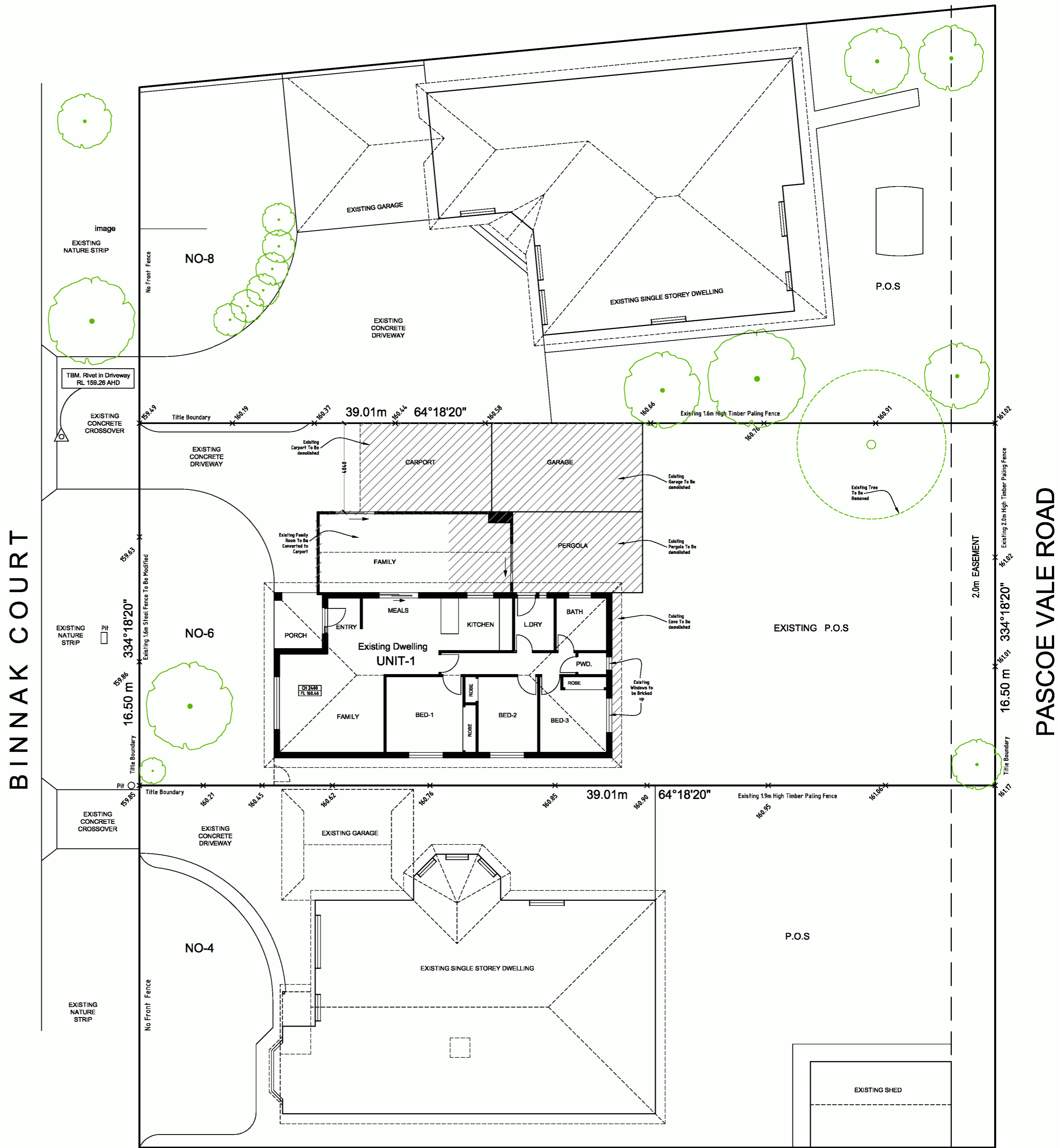
- ☐ The existing neighborhood character is generally formed of Single storey dwellings, Double storey dwellings and a few Multi unit developments.
- ☐ Wall materials are generally formed of combination of Face brick , Rendered brick, and Fiber cement cladding.
- ☐ Roof forms are generally hipped and/or gabled tiled roofs, with flat metal roofs for garages and carports. colorbond fascia and gutter.
- ☐ Gardens generally consist of small shrubs with a lawn areas.
- ☐ Natural ground level falls from the South-East boundary to the North-West boundary at a moderate slope .
- ☐ Subject site is currently a single storey dwelling with large vacant backyard.
- ☐ Subject site is not in a designated bushfire prone area.
- ☐ Subject site Planing Zone is: GENERAL RESIDENTIAL ZONE (GRZ)
GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)
- ☐ Subject site Planning Overlay: None.
- ☐ Subject site Melway reference: 179 K10
- ☐ Subject site Responsible Authority: Hume City Council
- ☐ Subject site Utilities, Metro Water Business: Yarra Valley Water
- ☐ Subject site Utilities, Sewerage : Yarra Valley Water
- ☐ Subject site Utilities, Power Distributor: Jemena

Legend

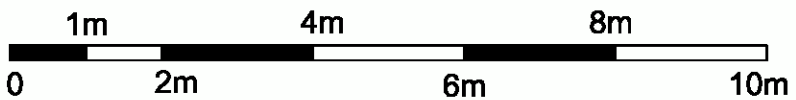
	Existing Tree	C.T.R	Concrete Tile Roof
	Subject Site	C.R	Colorbond Roof
	Existing Building / shed	F.B.W	Face Brick Walls
	Proposed Building	R.W	Render Walls
		T.C.W	Timber Cladding Walls
		F.C.W	Fiber Cement Cladding Walls
		T.P.F	Timber Paling Fence
		C.F	Colorbond Fence
		F.B.F	Face Brick Fence
		S.P.F	Steel Picket Fence
		R.F	Rendered Fence
		H.T.F	Horizontal Timber Fence
		No F.F	No Front Fence
P.O.S	Private Open Space.		
HW	Habitable window.		
NHW	Non habitable window		


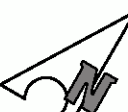
NEIGHBORHOOD AND SITE DESCRIPTION PLAN 1:400





Existing Conditions & Demolition Plan 1:100



Design Prepared by  REGISTRATION NO. DP-AD 38702	-These drawings are copyright. They must not be copied or produced in any form without the written permission of the designer. -Verify all dimensions on site before commencing any work. -Do not scale any dimensions from drawings.	TOWN PLANNING DRAWING ONLY NOT FOR CONSTRUCTION	PROJECT Proposed Townhouse at the back of : 6 Binnak Court, Meadow Heights	OWNER 	DRAWING TITLE Existing Conditions and Demolition Plan	PROJECT NO. 22113	SCALE 1: 100 @ A1	
						DRAWING NO. TP02	DATE 9 - 12 - 2021	
						REVISION 2		

Area Schedule

UNIT-1

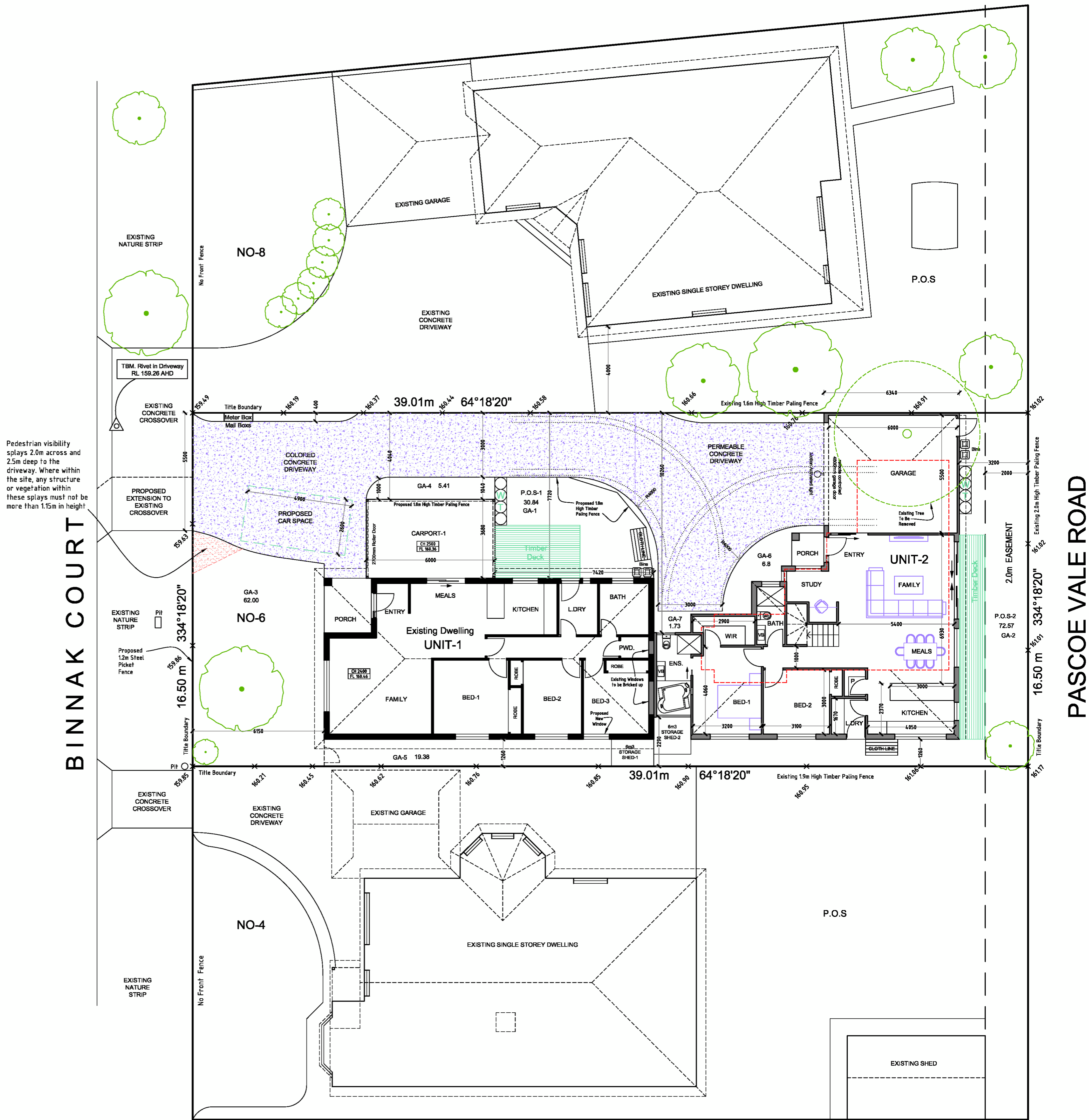
EXISTING HOUSE	115.67 sqm
PROPOSED CARPORT	21.0 sqm
TOTAL	136.67 sqm
P.O.S-1	30.84 + 19.38 = 50.22 sqm

UNIT-2

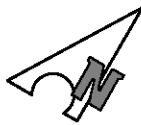
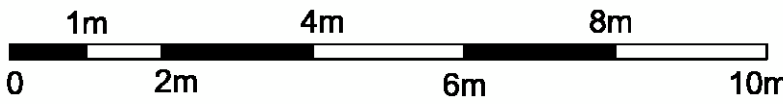
GROUND FLOOR	148.59 sqm
FIRST FLOOR	71.97 sqm
TOTAL	220.56 sqm
P.O.S-2	72.57 sqm

SITE AREA	644
BUILDING FOOTPRINT	285.26
SITE COVERAGE	44.3 %
HARD SURFACE AREA	435.63
HARD SURFACE RATIO	67.64 %
PERMEABILITY	32.36 %

Garden Area Calculation	
Site Area	644
GA- 1	30.84
GA- 2	72.57
GA- 3	62.00
GA- 4	5.41
GA- 5	19.38
GA- 6	6.80
GA-7	1.73
Total Garden Area	198.73
Garden Area Ratio	30.86 %



Ground Floor Plan 1:100



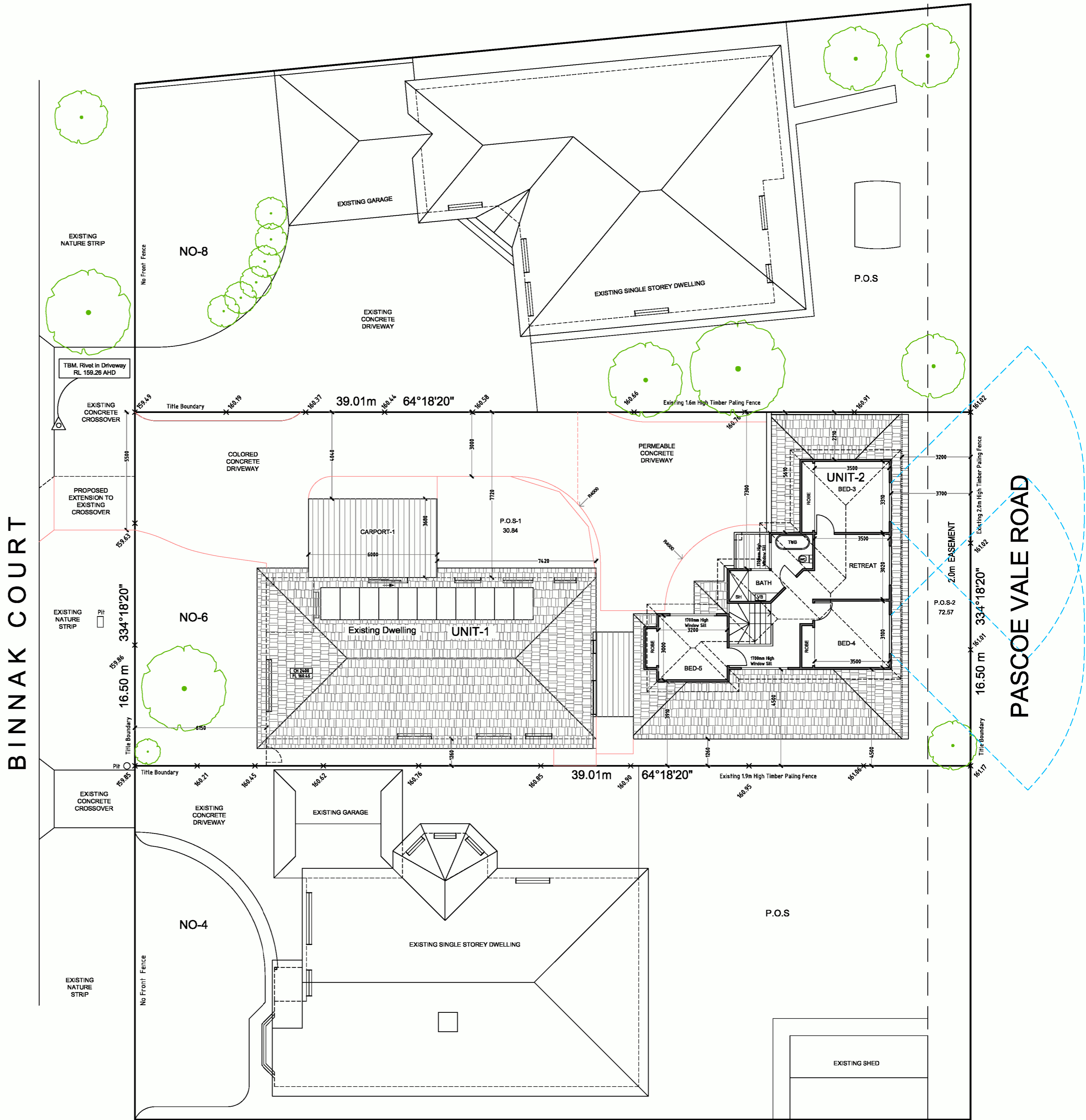
Area Schedule

UNIT-1	
EXISTING HOUSE	115.87 sqm
PROPOSED CARPORT	21.0 sqm
TOTAL	136.87 sqm
P.O.S-1	30.84 + 19.38 = 50.22 sqm

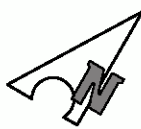
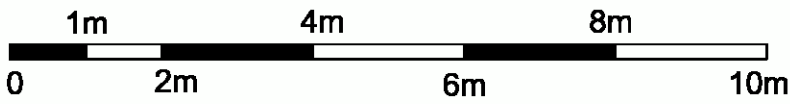
UNIT-2	
GROUND FLOOR	148.59 sqm
FIRST FLOOR	71.97 sqm
TOTAL	220.56 sqm
P.O.S-2	72.57 sqm

SITE AREA	644
BUILDING FOOTPRINT	285.26
SITE COVERAGE	44.3 %
HARD SURFACE AREA	435.63
HARD SURFACE RATIO	67.64 %
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Garden Area Calculation	
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GA- 3	62.00
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GA- 5	19.38
GA- 6	6.80
GA-7	1.73
Total Garden Area	198.73
Garden Area Ratio	30.86 %



First Floor Plan 1:100



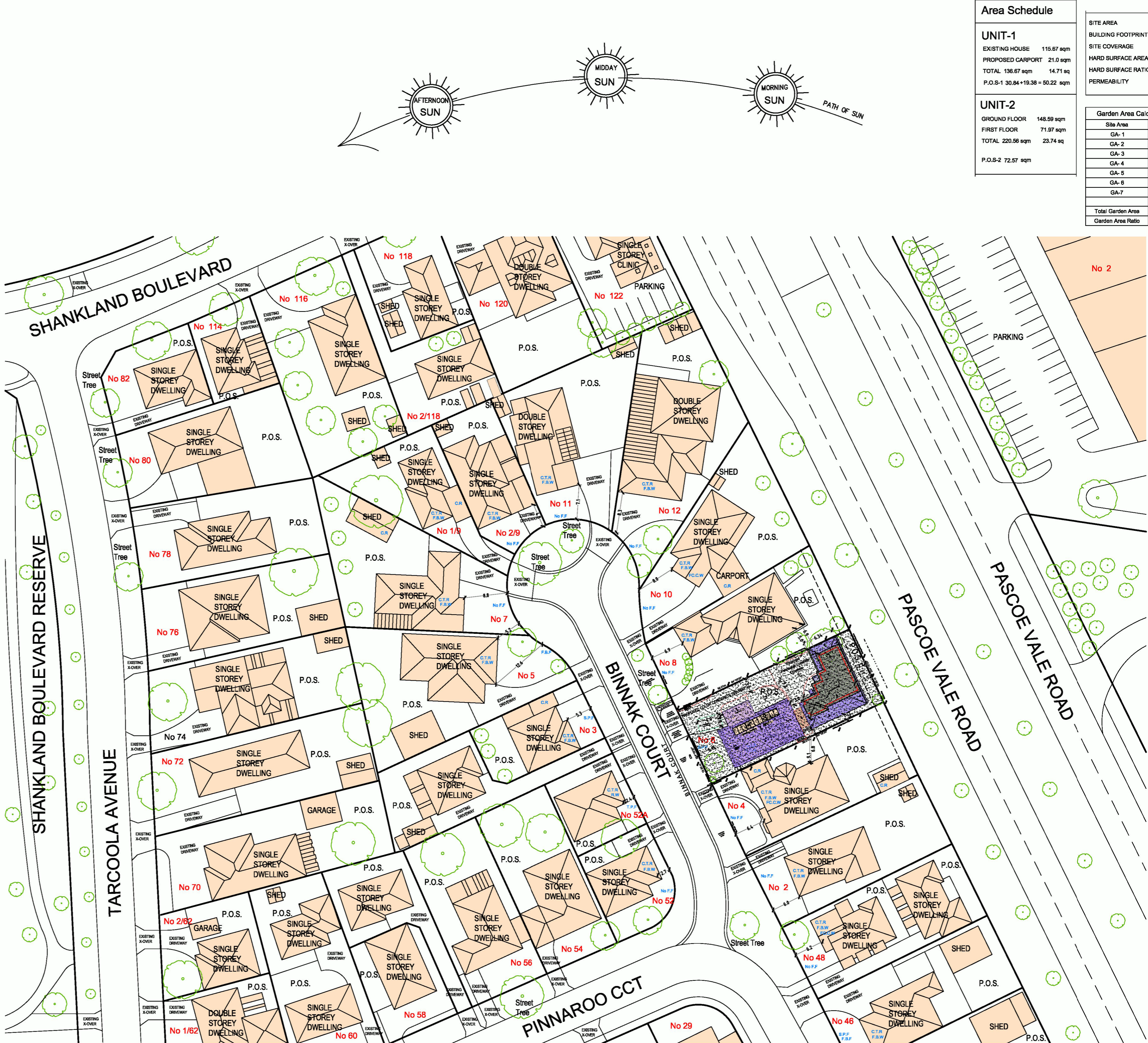
DESIGN RESPONSE NOTES

No.	RES. CODE REQUIREMENTS			STANDARD REQUIREMENT	DESIGN ACHIEVED	OBJECTIVE MET	STANDARD MET
B1	THE PROPOSED DESIGN MUST RESPECT THE EXISTING OR PREFERRED NEIGHBOURHOOD CHARACTER					✓	✓
B2	THE PROPOSED DEVELOPMENT IS TO BE CONSISTENT WITH ANY RELEVANT POLICY FOR HOUSING					✓	✓
B3	DWELLING DIVERSITY OBJECTIVE			More than 10 Dwellings	2 Dwellings	N/A	N/A
B4	INFRASTRUCTURE OBJECTIVE			Services available	Services available	✓	✓
B5	-PROVIDE ADEQUATE VEHICLE AND PEDESTRIAN LINKS -AVOID HIGH FRONT FENCING			Min. 3M Driveway Max. 1.2m	3.0m To 9.3m Driveway 1.2m Steel Picket Fence	✓	✓
B6	-FRONT WALL STREET SETBACK = AVERAGE SETBACK OF FRONT WALL OF THE 2 EXISTING ADJOINING DWELLINGS			$(6.4+6.9)/2 = 6.65$	No Change to Existing front set back	✓	✓
B7	BUILDING HEIGHT OBJECTIVE			Max. 9.00m	MAX. 7.38m	✓	✓
B8	SITE COVERAGE OBJECTIVE			60% MAX.	44.3 %	✓	✓
B9	PERMEABILITY OF SITE OBJECTIVE			20% MIN.	32.36 %	✓	✓
B10	ENERGY EFFICIENCY OBJECTIVE			6 Star rating Max solar access	6 Star rating will be achieved Max solar access	✓	✓
B11	COMMUNAL OPEN SPACE OBJECTIVE			Available	Available	✓	✓
B14	SAFE ACCESSWAY WITH SEPARATE PRIVATE OPEN SPACES			MIN. 3.0M Wide 4.0M Radius Available	3.0 To 9.3m Wide Driveways 4.0M Radius Available	✓	✓
B16	PARKING PROVISION OBJECTIVE	UNIT 1 UNIT 2	3 BEDROOM UNIT 5 BEDROOM UNIT	2 CAR SPACES 2 CAR SPACE	2 CAR SPACES Provided 2 CAR SPACES Provided	✓	✓
B17	SIDE SETBACK OBJECTIVE REAR SETBACK OBJECTIVE			Side Setback Profile Rear Setback Profile	Achieved as shown in elevations	✓	✓
B18	WALLS ON BOUNDARY 10m+25% of remaining Length 3.2m MAX. HEIGHT	N-East 16.5m N-West 39.1m S-West 16.5m S-East 39.1m	11.62 m 17.27 m 11.62 m 17.27 m	0.0m 6.34m 0.0m 0.0m	✓	✓	
B19	DAYLIGHT TO EXISTING WINDOWS OBJECTIVE (MIN. 3.0M2 LIGHT COURT WITH MIN 1.0M WIDTH) SET BACK (SB) = 50% OF WALL HEIGHT (H)			GF Wall H=3.2m SB=1.6m FF Wall H=5.95m SB=2.83m	SB=5.0m SB=6.9m	✓	✓
B20	EXISTING NORTH FACING HABITABLE ROOM WINDOWS SET BACK (SB)=1M+60% OF WALL HEIGHT (H)			GF Wall H=3.08m SB=2.85m FF Wall H=5.86m SB=4.51m	SB=6.8m SB=9.1m	✓	✓
B21	OVER SHADOWING OF EXISTING (SPOS) MIN. 5 HOURS TO 40M2 OR 75%OF EXISTING P.O.S			5 Hours to MIN 40M2	Max. 3.79% overshadowing of existing POS of 4 Binnak Ct. @ 3:00PM	✓	✓
B22	OVERLOOKING TO EXISTING (SPOS)			MIN. 9M DISTANCE MIN. 1.7M Win-sill	9.0m Distance or 1.7M Window sill or Opaque glass to 1.7M	✓	✓
B23	INTERNAL VIEWS OBJECTIVE			1.8M Fence around SPOS	1.8M Fence around SPOS	✓	✓
B24	NOISE IMPACTS OBJECTIVE			Fencing and Landscaping	Min.1.8M Fencing and Landscaping around SPOS	✓	✓
B25	ACCESSIBILITY OBJECTIVE			open plan layout	open plan layout	✓	✓
B26	DWELLING ENTRY OBJECTIVE			Own identity Well lit Entry	Separate well lit Porches	✓	✓
B27	DAYLIGHT TO NEW WINDOWS OBJECTIVE			3.0M2 access to DAYLIGHT	Min.1.26m wide clear to sky	✓	✓
B28	PRIVATE OPEN SPACE OBJECTIVE			MIN. 40.0M2 25.0M2 OF SPOS MIN. 3.0M WIDTH	Unit-1 50.22 M2 Unit-2 72.57 M2	✓	✓
B29	SOLAR ACCESS TO PRIVATE OPEN SPACE OBJECTIVE SOUTHERN BOUNDARY SETBACK (SB) SHOULD BE 2+0.9x NORTHERN WALL HEIGHT (WH)			GF Wall H= 2.9M SB= 4.61M FF Wall H= 5.8M SB= 7.22M	No Existing Wall at Northern boundary of Proposed POS of Unit-2	✓	✓
B30	STORAGE OBJECTIVE			MIN. 6M3 Each Dwelling	U1 6.0 M3 Shed U2 6.0 M3 Shed	✓	✓
B31	DESIGN DETAIL OBJECTIVE			Facade articulation Pitched roofs	Facade articulation With Pitched roofs	✓	✓
B32	FRONT FENCE OBJECTIVE			Low Height Front Fences	1.2m High Front Fence	✓	✓
B33	COMMON PROPERTY OBJECTIVE			Functional & efficient to Manage	Functional & efficient to Manage	✓	✓
B34	SITE SERVICES OBJECTIVE		Visible Mail Boxes Hidden Bins Screened services	Propvided Propvided Propvided	✓	✓	

Legend

	Existing Tree	C.T.R	Concrete Tile Roof
	Subject Site	C.R	Colorbond Roof
	Existing Building / shed	F.B.W	Face Brick Walls
	Proposed Building	R.W	Render Walls
		T.C.W	Timber Cladding Walls
		F.C.C.W	Fiber Cement Cladding Walls
		T.P.F	Timber Paling Fence
		C.F	Colorbond Fence
		F.B.F	Face Brick Fence
		S.P.F	Steel Picket Fence
		R.F	Rendered Fence
		H.T.F	Horizontal Timber Fence
		No F.F	No Front Fence
P.O.S	Private Open Space.		
HW	Habitable window.		
NHW	Non habitable window		

DESIGN RESPONSE PLAN 1:400



Area Schedule

UNIT-1

EXISTING HOUSE	115.67 sqm
PROPOSED CARPORT	21.0 sqm
TOTAL	136.67 sqm
P.O.S-1	30.84+19.38 = 50.22 sqm

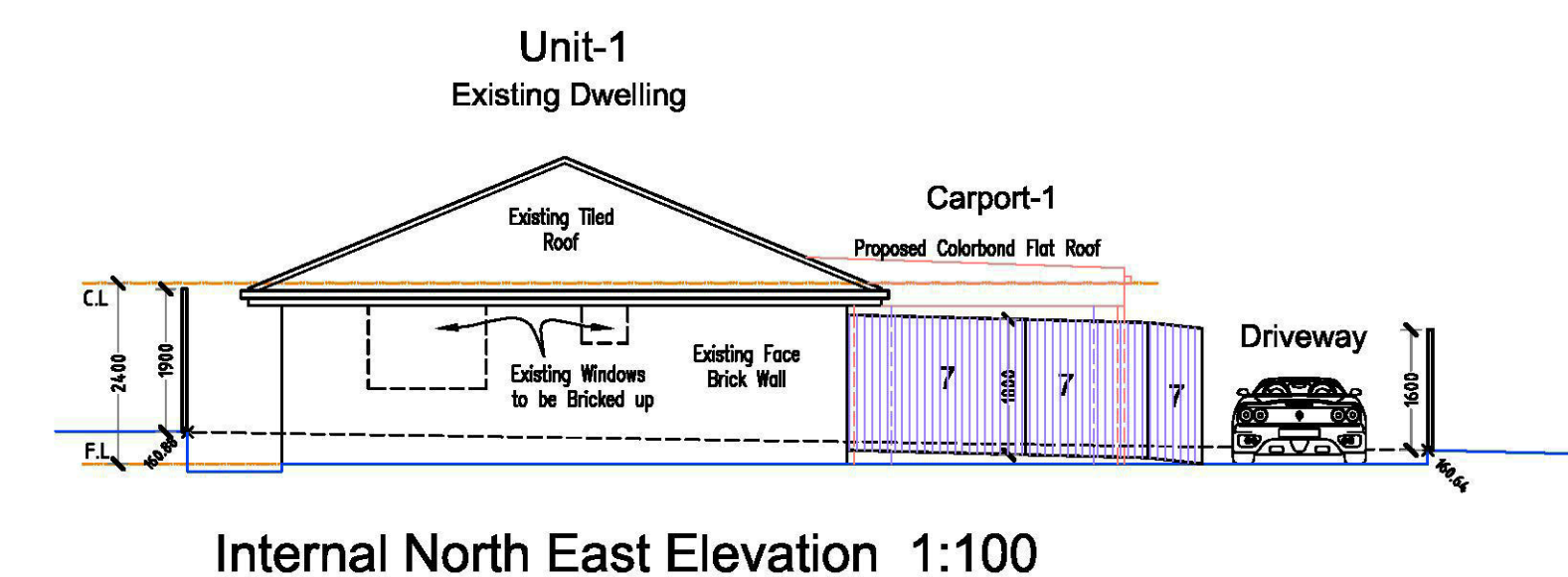
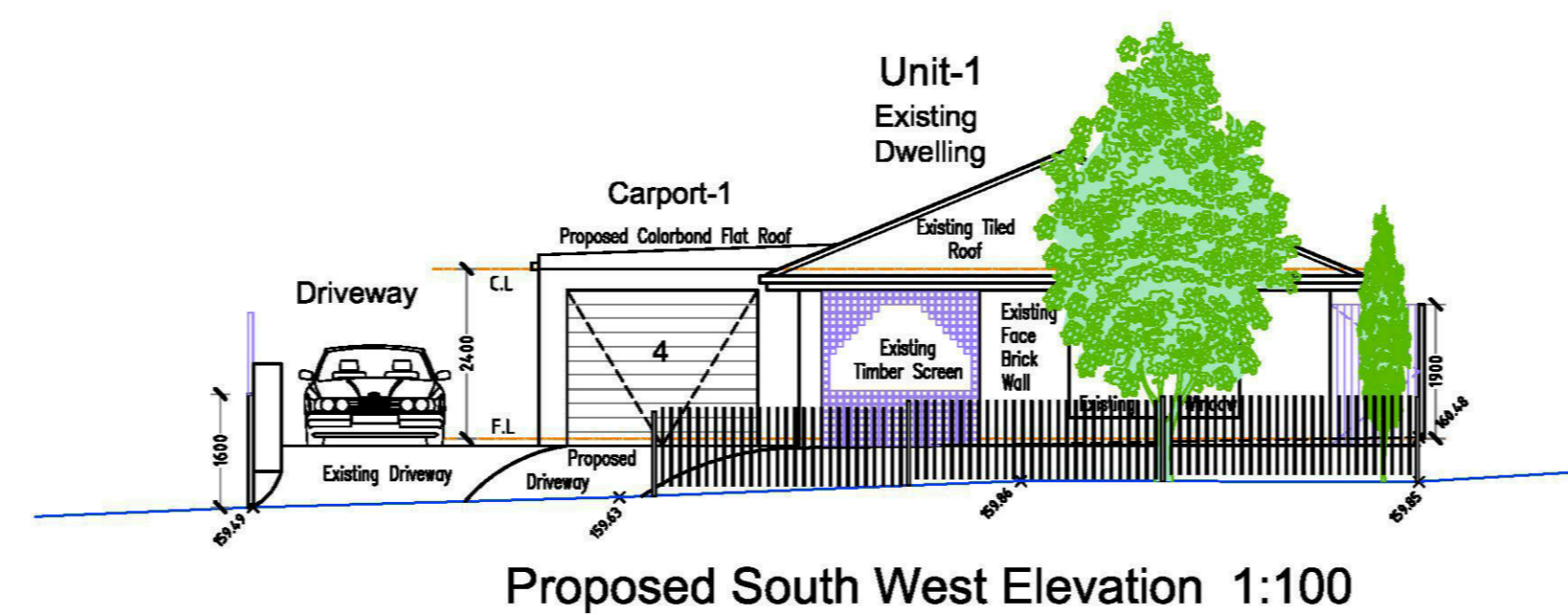
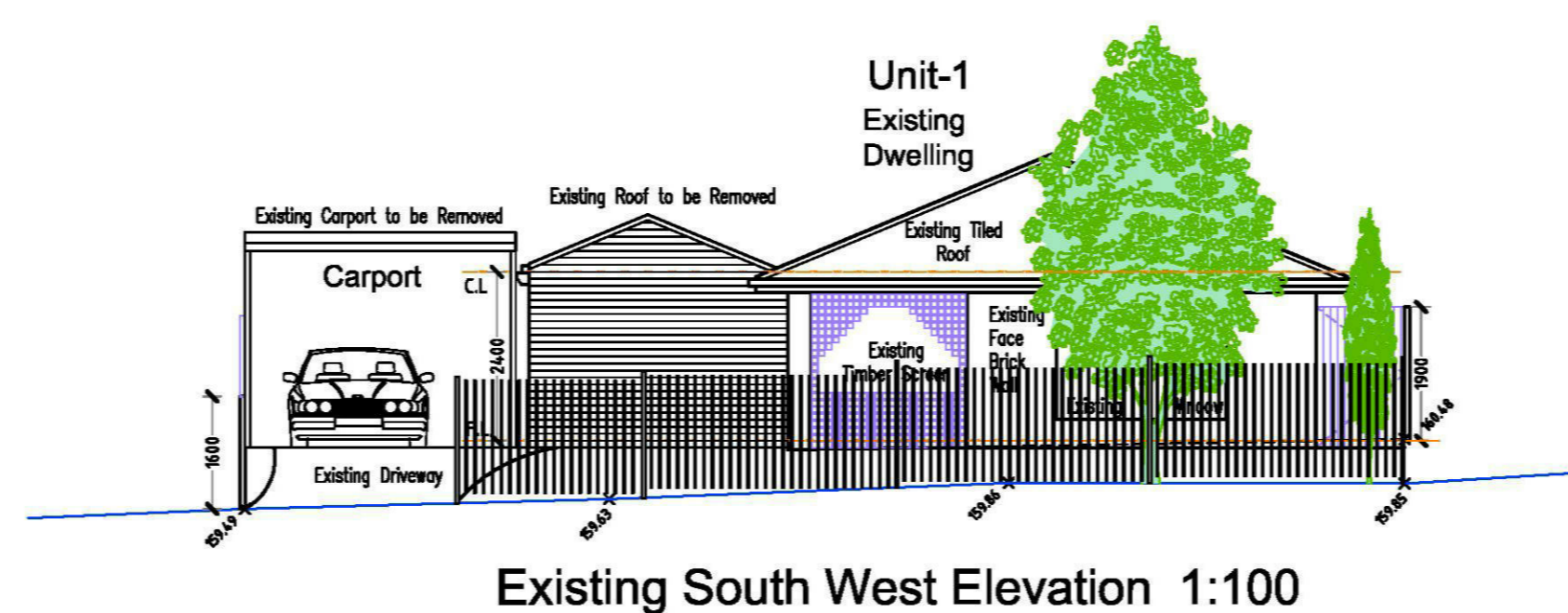
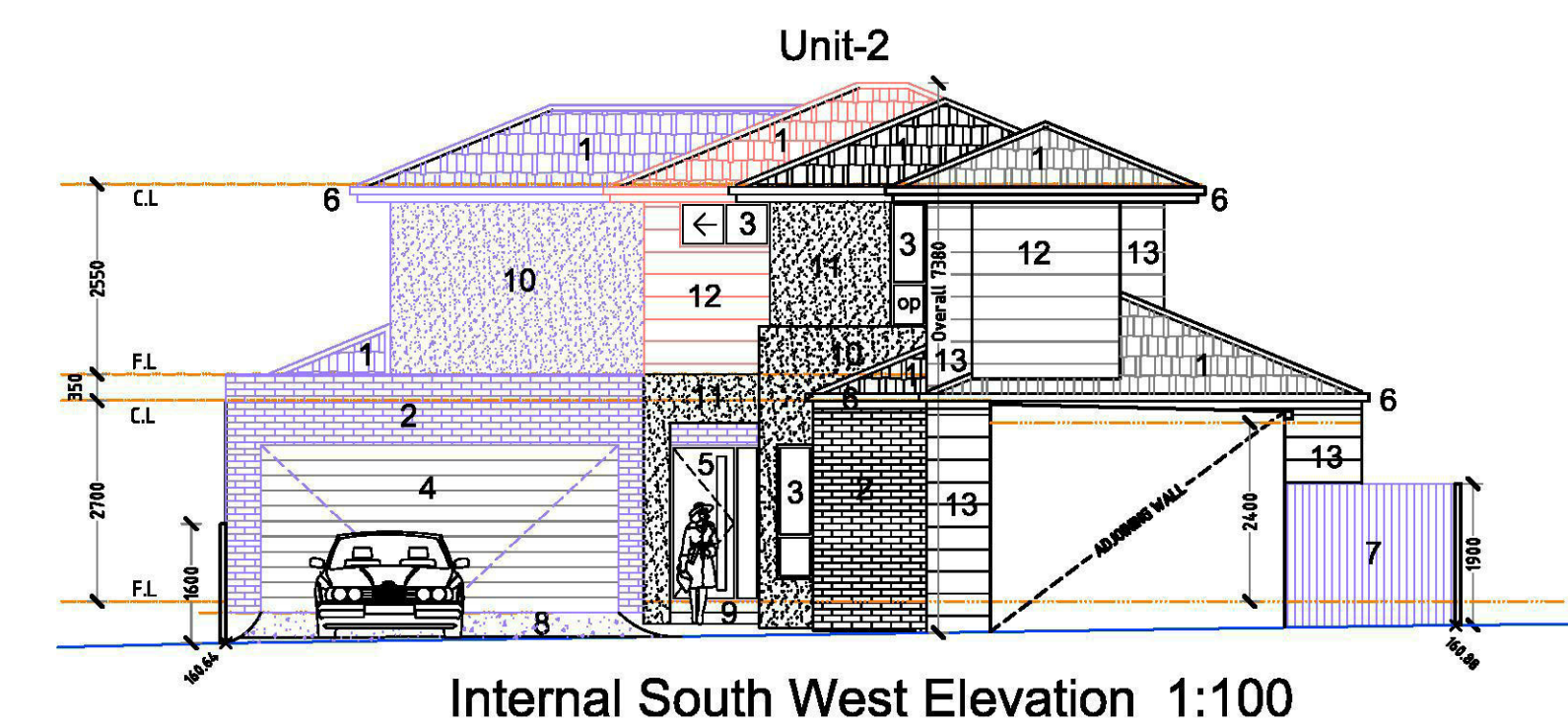
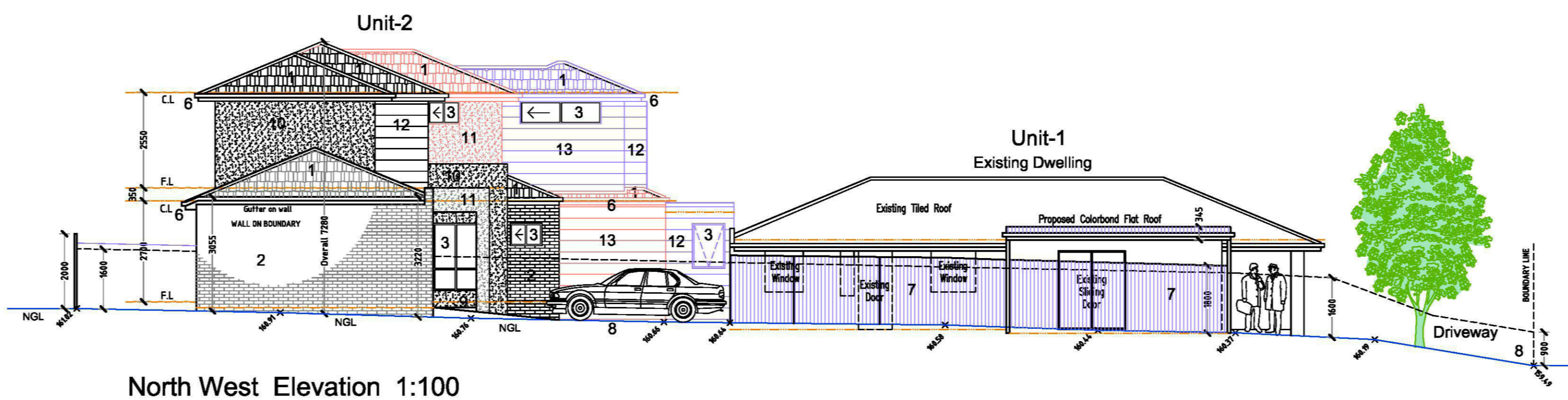
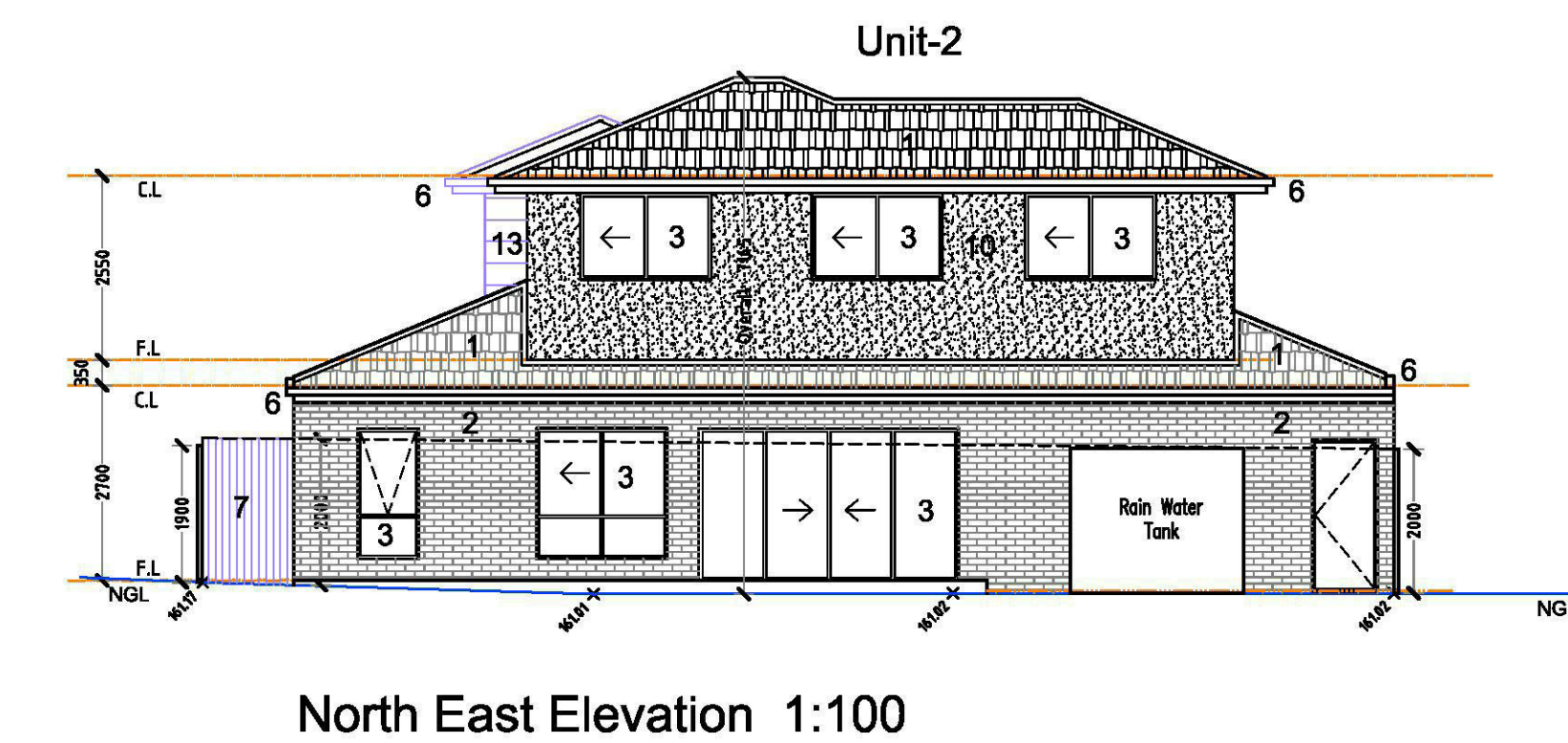
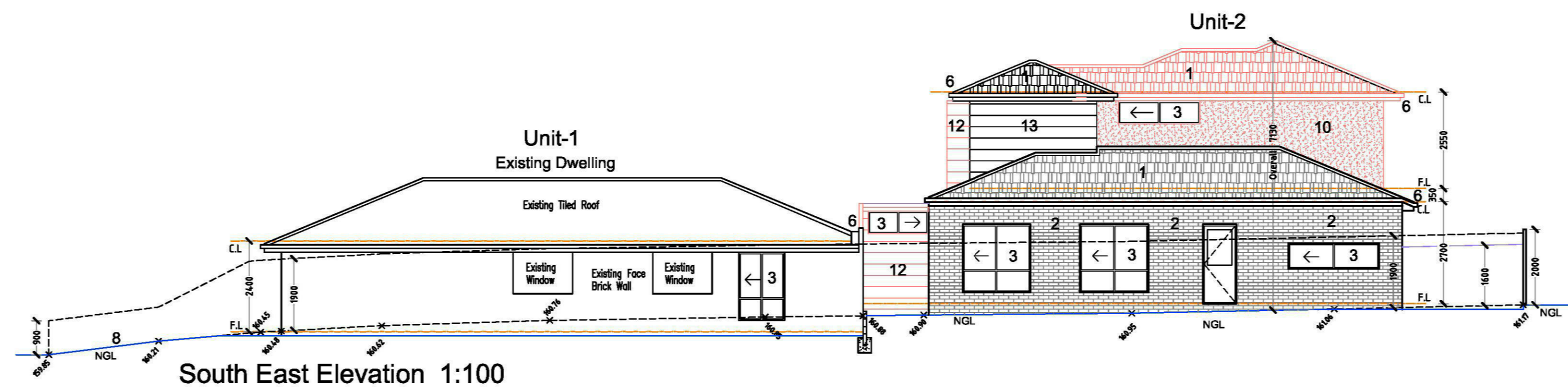
UNIT-2














GROUND FLOOR	148.59 sqm
FIRST FLOOR	71.97 sqm
TOTAL	220.56 sqm
P.O.S-2	72.57 sqm

SITE AREA	644
BUILDING FOOTPRINT	285.26
SITE COVERAGE	44.3 %
HARD SURFACE AREA	435.63
HARD SURFACE RATIO	67.64 %
PERMEABILITY	32.36 %

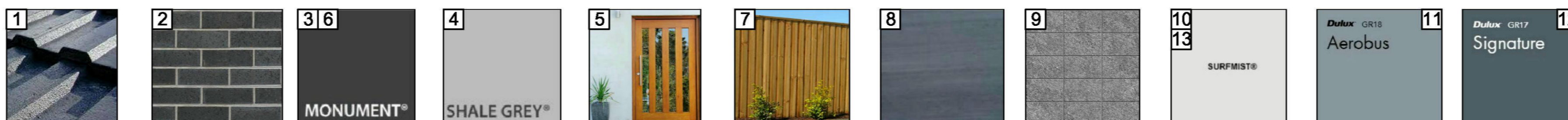
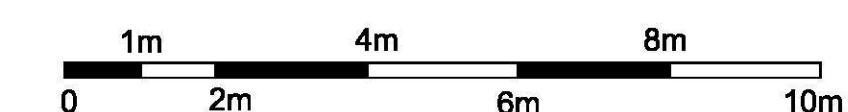
Garden Area Calculation	
Site Area	644
GA- 1	30.84
GA- 2	72.57
GA- 3	62.00
GA- 4	5.41
GA- 5	19.38
GA- 6	6.80
GA- 7	1.73
Total Garden Area	198.7300
Garden Area Ratio	30.8587%





MATERIALS & COLOR SCHEDULE						
Code	Hatch	Application	Material	Manufacturer/Supplier	Profile	Colour
1		Roof	Concrete Tile	Alice Roof	Stuart	DARK GREY
2		Walls	Face Brick	Selkir	Spirit collection	MOON SHADOW
3		Windows	Aluminum	Victorian Dream	Residential	MONUMENT C2
4		Garage Door	Colorbond	Steel—Line	Slimline Sectional	SHALE GREY
5		Entry Door	Timber	Hume Doors	Savoy 820	SPM Standard
6		Gutters, Fascia, D.P. Gutter Box	Colorbond	LYSAGHT	Quad	MONUMENT C2
7		Fence	Timber Paling	---	Vertical	NATURAL TIMBER
8		Driveway	Colored Concrete	BHB Concreting	Brushed	CHARCOAL
9		Porch floor	Porcelain Tiles	MS Tiles	Matt Finish	DARK GREY
10		Walls	Render	Dulux	Smooth	SURFMIST
11		Walls	Render	Dulux	Smooth	AEROBUS GR18
12		Walls	FibreCement Cladding	BGC	Stratum	SIGNATURE GR19
13		Walls	FibreCement Cladding	BGC	Stratum	SURFMIST

LEGEND	
C.L	CEILING LEVEL
F.L	FLOOR LEVEL
NGL	NATURAL GROUND LEVEL
CJ	CONTROL JOINT
DP	100X50mm DOWN PIPE
DG	DOUBLE GLAZED
X	SPOT LEVEL



LANDSCAPE SPECIFICATIONS

Garden Bed Establishment ---Where indicated on the drawings the contractor shall provide for the establishment of garden beds. All works are to be carried out in accordance with standard horticultural practices. All works shall only be carried out under suitable soil conditions and the use of machinery or hand tools under adverse conditions that would damage the soil structure will not be permitted. Finished surface level - After final settlement the finished surface level shall match the top of adjoining bedding edge. Place topsoil to within 75mm below finished level to allow for the replacement of mulch.

Grades --- All grades are to be shaped to assist drainage. Preparation of Subgrade - Excavate as required to establish subgrade level to allow for addition of topsoil and mulch. All garden areas that are heavily compacted from construction work shall be broken up by an initial cultivation prior to the placement of the topsoil. This shall be carried out by cultivating to a depth of 300mm and shall be along the contours to prevent erosion. This shall leave the ground in a loose and friable condition.

Topsoil --- Imported topsoil from an approved supplier will confirm the following: texture - light to medium clay loam, ie; capable of being compressed into a ball by hand when moist yet can be broken apart immediately after. Topsoiling - Spread topsoil to an even depth of 250mm and do not deliver or spread in a muddy condition. Where access is required over established or proposed garden areas keep the vehicular routes in the smallest possible area. Garden Bed Preparation - Before laying mulch in all large garden beds and where thick screen planting (eg, border planting) occurs cultivate to a depth of 300mm minimum. In small garden areas dig to spade depth (250mm).

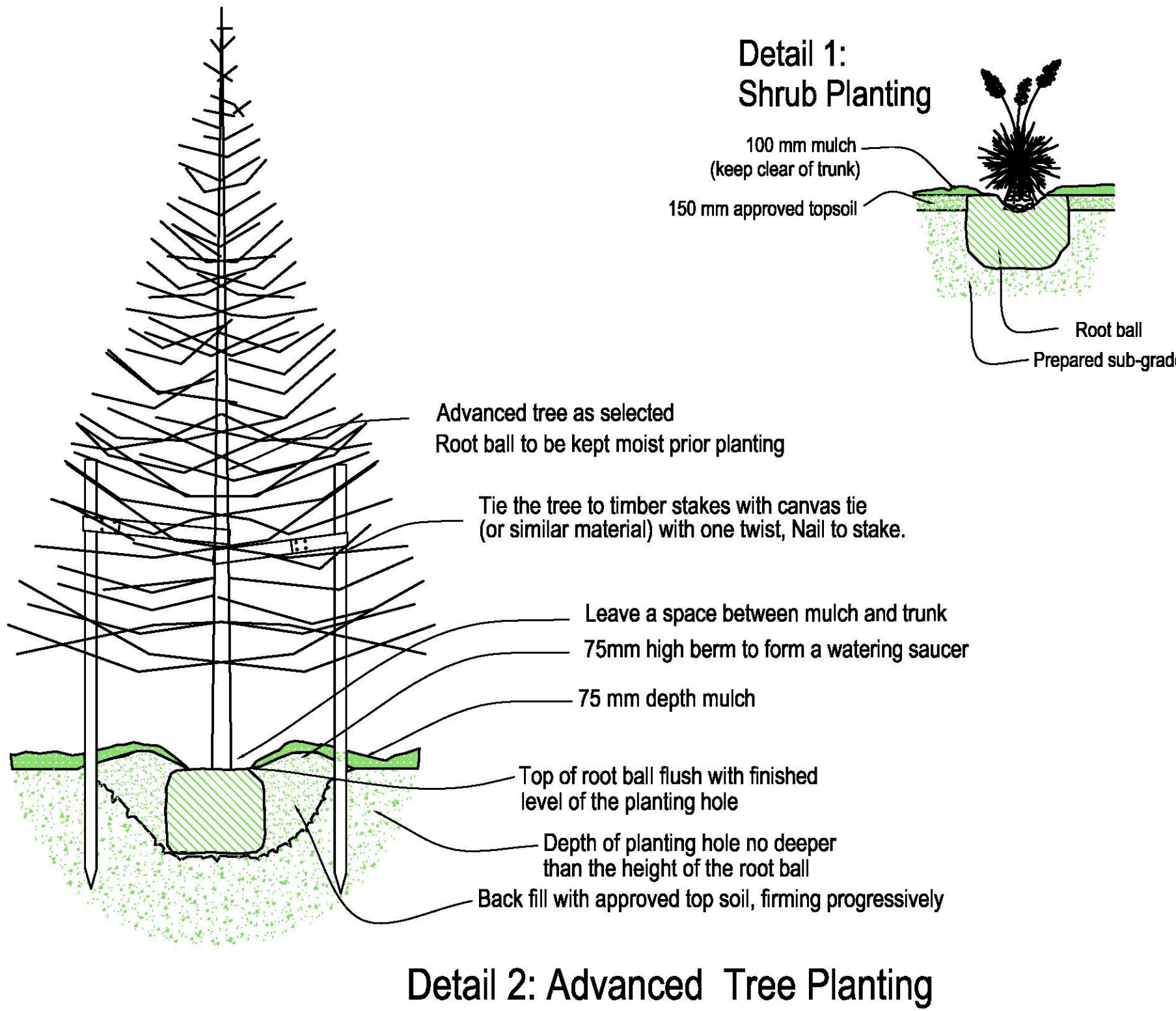
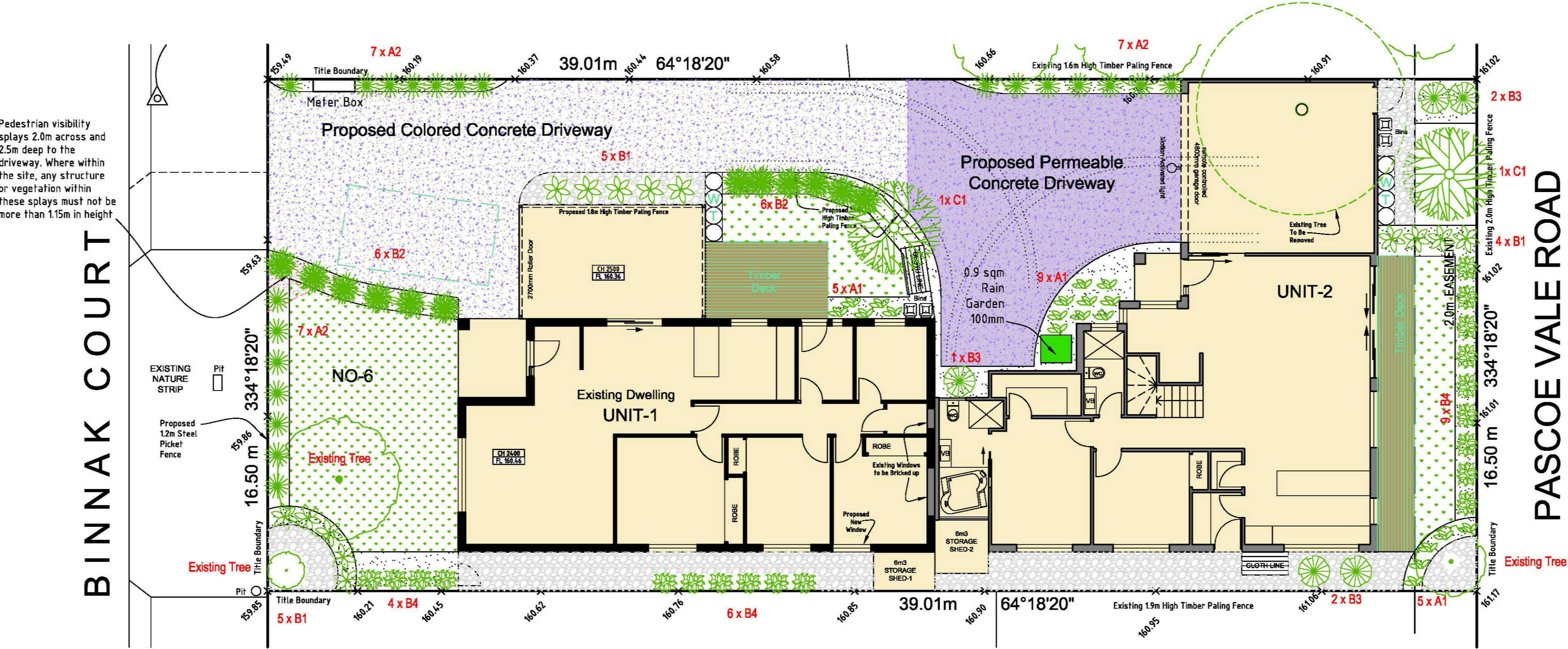
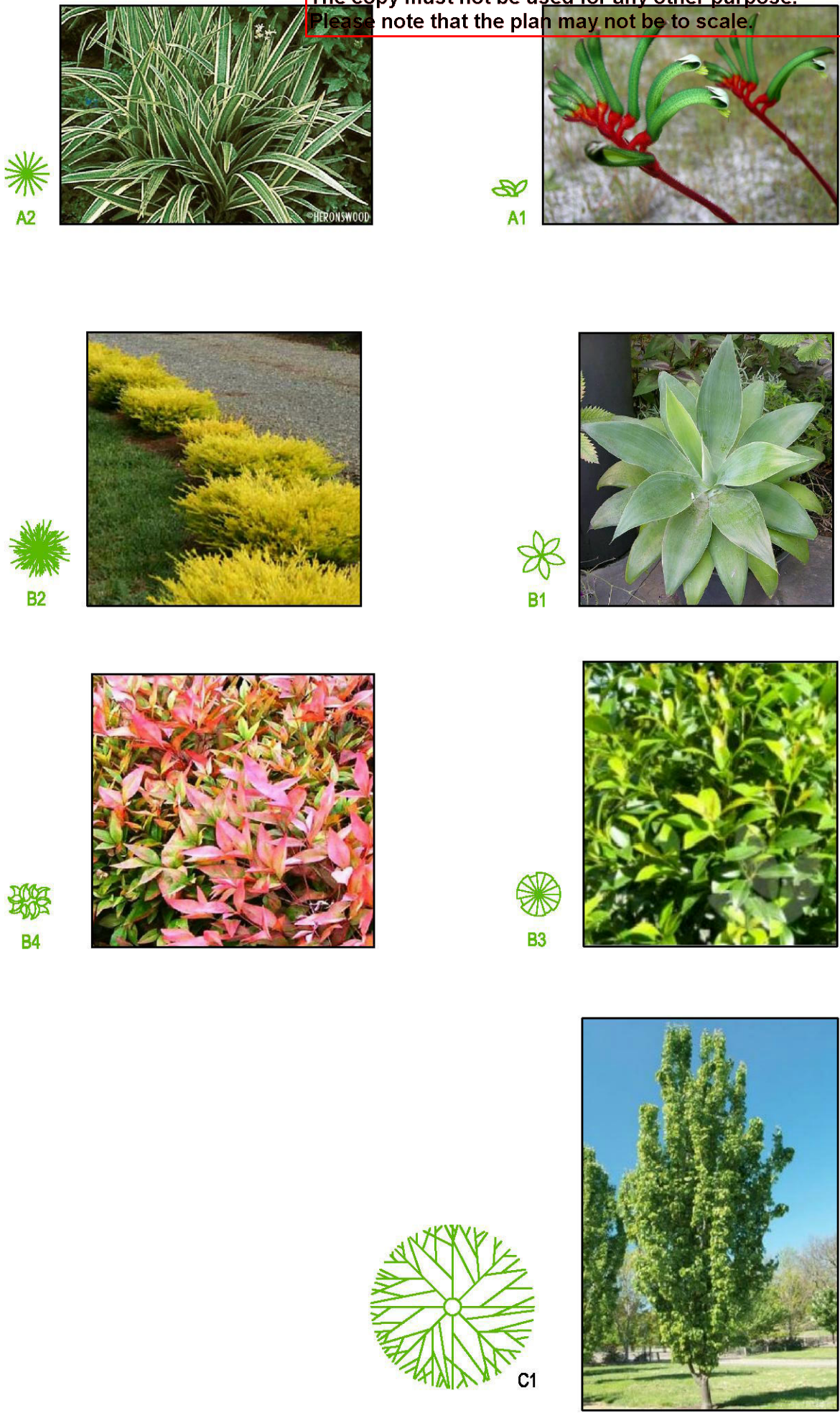
Gypsum --- After topsoil is spread in garden areas, spread gypsum at the rate of 1- 2 kilograms per square metre depending upon the manufacturers recommendations for the type of topsoil. Mix the gypsum into the topsoil by raking in lightly to a depth of 50mm.

Mulch --- Supply and place selected mulch in all garden beds to a minimum thickness of 75mm. Planting --- Refer to the Tree and Shrub planting details. Completion --- Refill any depression caused by settlement and reform any areas which prevent water run-off. Planting Generally --- Ensure all plants are healthy, disease free, not root bound and true to name. Fertilizer --- Use 8-9 month osmocote fertiliser at the rate specified by the manufacturer.

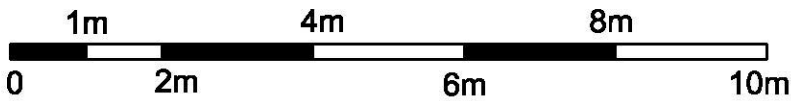
LEGEND	
PROPOSED TREES	
EXISTING TREES	
PROPOSED SMALL SHRUBS	
PROPOSED LARGE SHRUBS	
GROUND COVER	
TIMBER DECK	
BUFFALO GRASS	
PEBBLES TOPPINGS	
RED SCORIA TOPPINGS	
SELECTED POROUS PAVERS	
3000L RAIN WATER TANK	

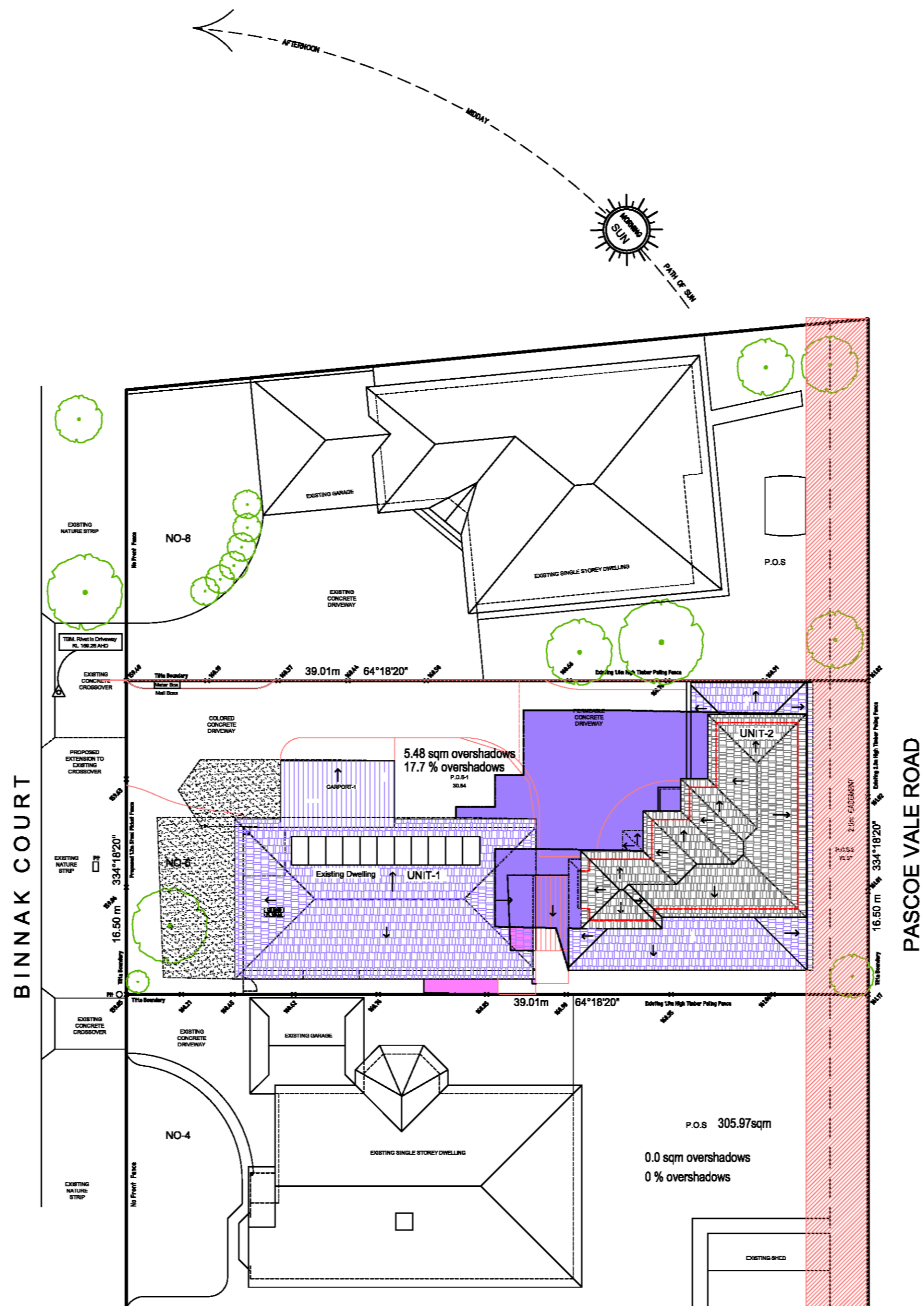
LANDSCAPE SCHEDULE

BOTANICAL NAME	COMMON NAME	COMMENTS	H x W	POT	Q.TY
GROUND COVER					
A1 Leucophyta brownii	Little Kangaroo Paw	Low growing ground cover	0.6m x 0.8m	75mm	19
A2 Dianella tasmanica	Tasmanian Flax lily	Small ground cover	0.5m x 0.5m	75mm	21
SMALL TO MEDIUM SHRUBS					
B1 Star Agave Attenuata	Lion's tail	Medium size plant	1.5m x 1.0m	140mm	14
B2 Coleonema Pulcrum	Golden Diosma	Small drought tolerant shrub	1.2m x 1.2m	140mm	12
B3 Syzygium australe	Lilly Pilly	Medium to large evergreen shrub	3.0m x 1.0m	140mm	5
B4 Nandina domestica	Heavenly Bamboo	Rounded evergreen shrub	2.0m x 1.0m	140mm	19
TREES					
C1 Pyrus calleryana	Ornamental Pear	Deciduous Upright Tree	10m x 3m	400mm	2
* : Pot size to be used as a guide only.					



LANDSCAPE PLAN
Scale 1:100

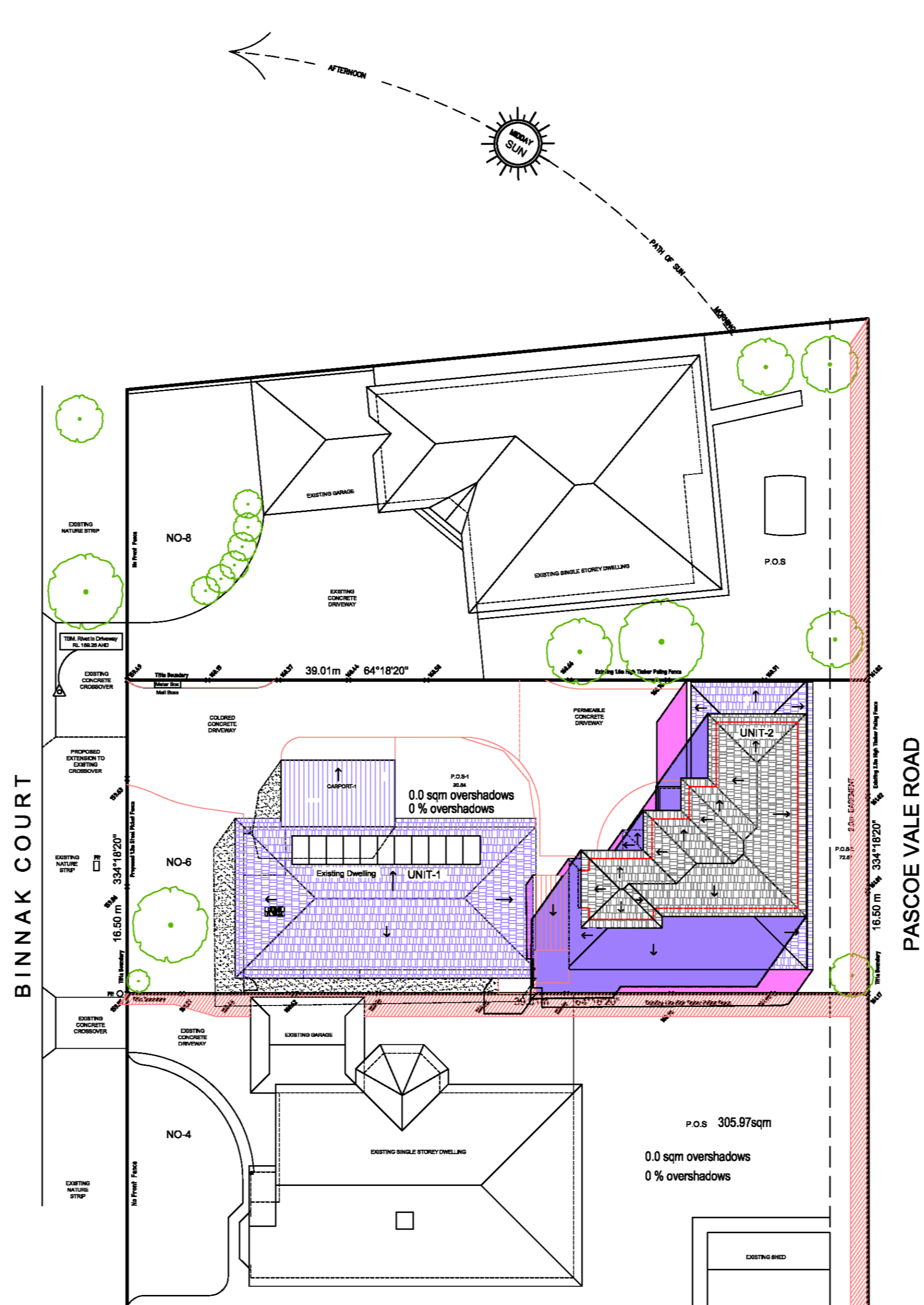




SHADOWS PLAN
22 SEPTEMBER 9:00 AM
SCALE 1:200

LEGEND

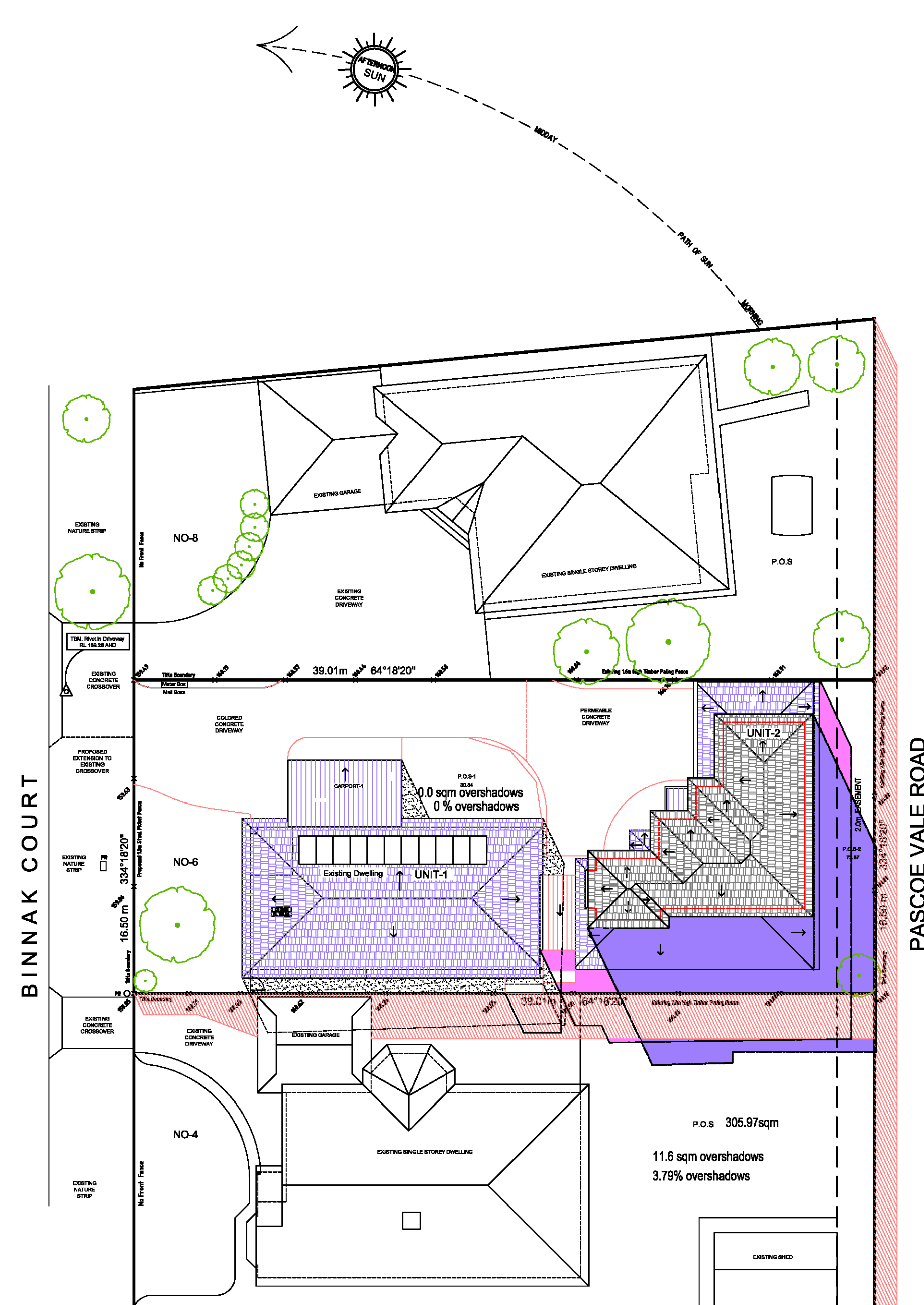
- FENCE SHADOWS
- EXISTING SHADOWS
- PROPOSED GROUND FLOOR SHADOWS
- PROPOSED FIRST FLOOR SHADOWS
- EXISTING DWELLING LINE
- P.O.S PRIVATE OPEN SPACE



SHADOWS PLAN
22 SEPTEMBER 12:00 PM
SCALE 1:200

LEGEND

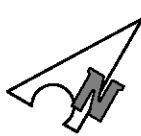
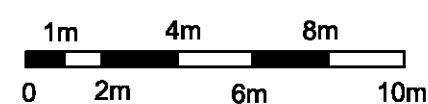
- FENCE SHADOWS
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- PROPOSED GROUND FLOOR SHADOWS
- PROPOSED FIRST FLOOR SHADOWS
- EXISTING DWELLING LINE
- P.O.S PRIVATE OPEN SPACE



SHADOWS PLAN
22 SEPTEMBER 3:00 PM
SCALE 1:200

LEGEND

- FENCE SHADOWS
- EXISTING SHADOWS
- PROPOSED GROUND FLOOR SHADOWS
- PROPOSED FIRST FLOOR SHADOWS
- EXISTING DWELLING LINE
- P.O.S PRIVATE OPEN SPACE





No. 12

No. 10

No.8

No. 6

No. 4

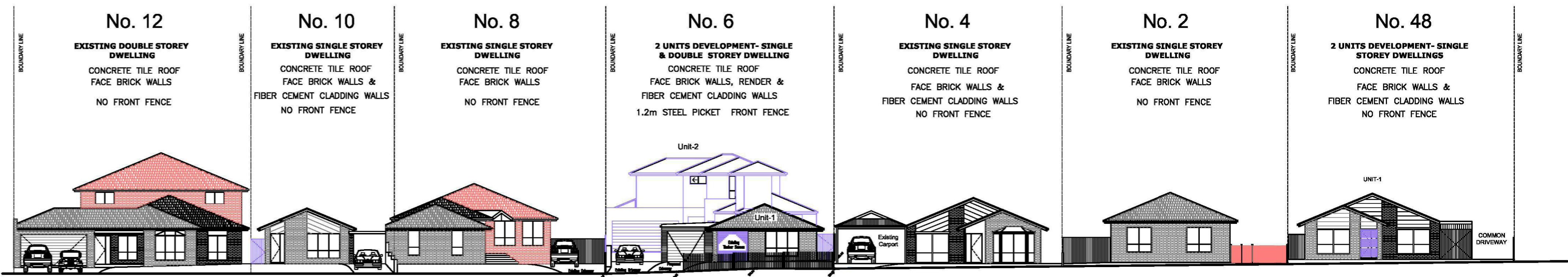
No.2

No. 48

Binnak Court - Existing Conditions



Existing Binnak Court Streetscape



Proposed Binnak Court Streetscape

1m 4m 8m
0 2m 6m 10m



STORM Rating Report

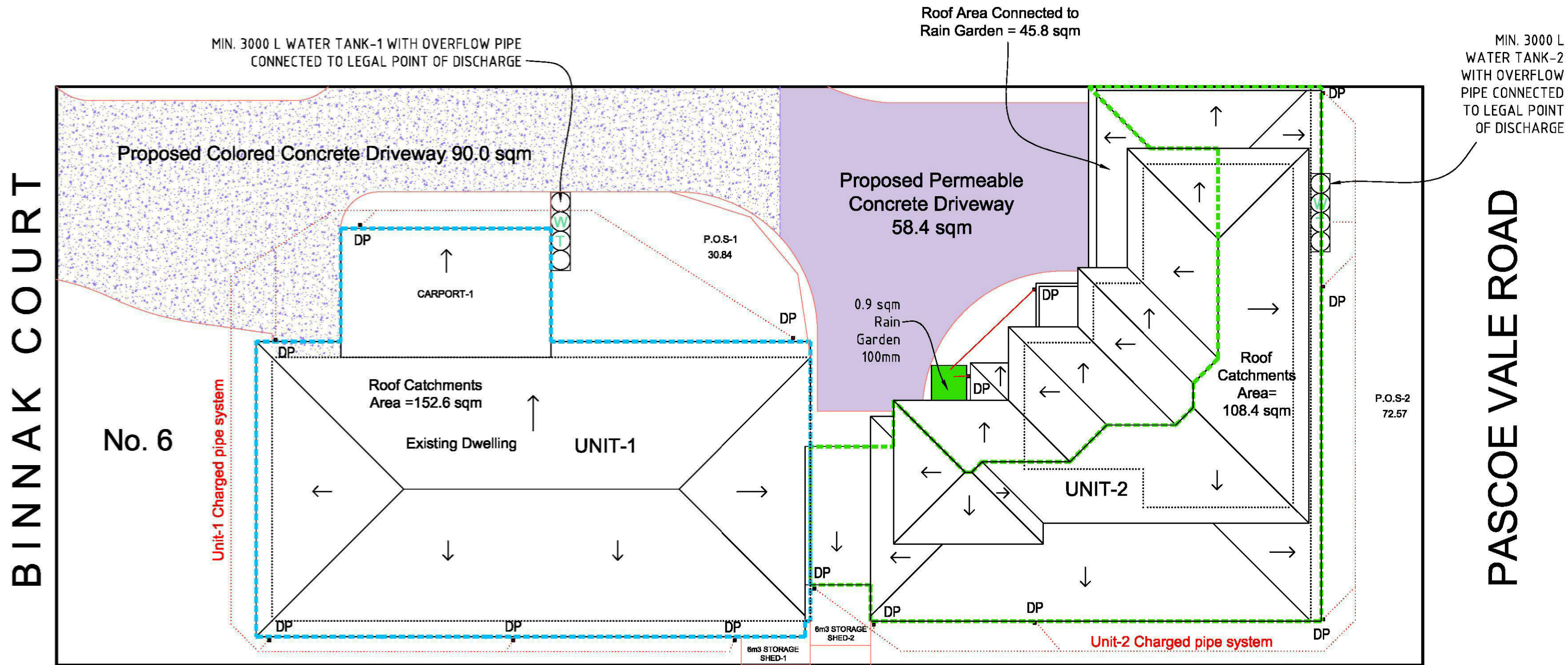
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Municipality: HUME
Rainfall Station: HUME
Address: 6 Binnak Court

Meadow Heights
VIC 3048
Assessor: DDD Arch
Development Type: Residential - Multiunit
Allotment Site (m2): 644.00
STORM Rating %: 101

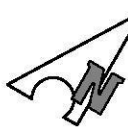
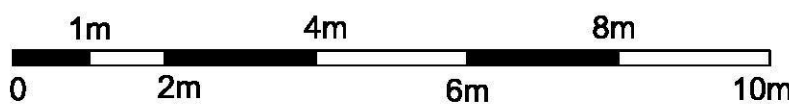
Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Roof-1 To RWT	152.60	Rainwater Tank	3,000.00	3	106.80	97.00
Roof-2 To RWT	108.40	Rainwater Tank	3,000.00	5	166.00	82.00
Driveway	90.00	None	0.00	0	0.00	0.00
Roof -2 To RG	45.80	Raingarden 100mm	0.90	0	127.90	0.00

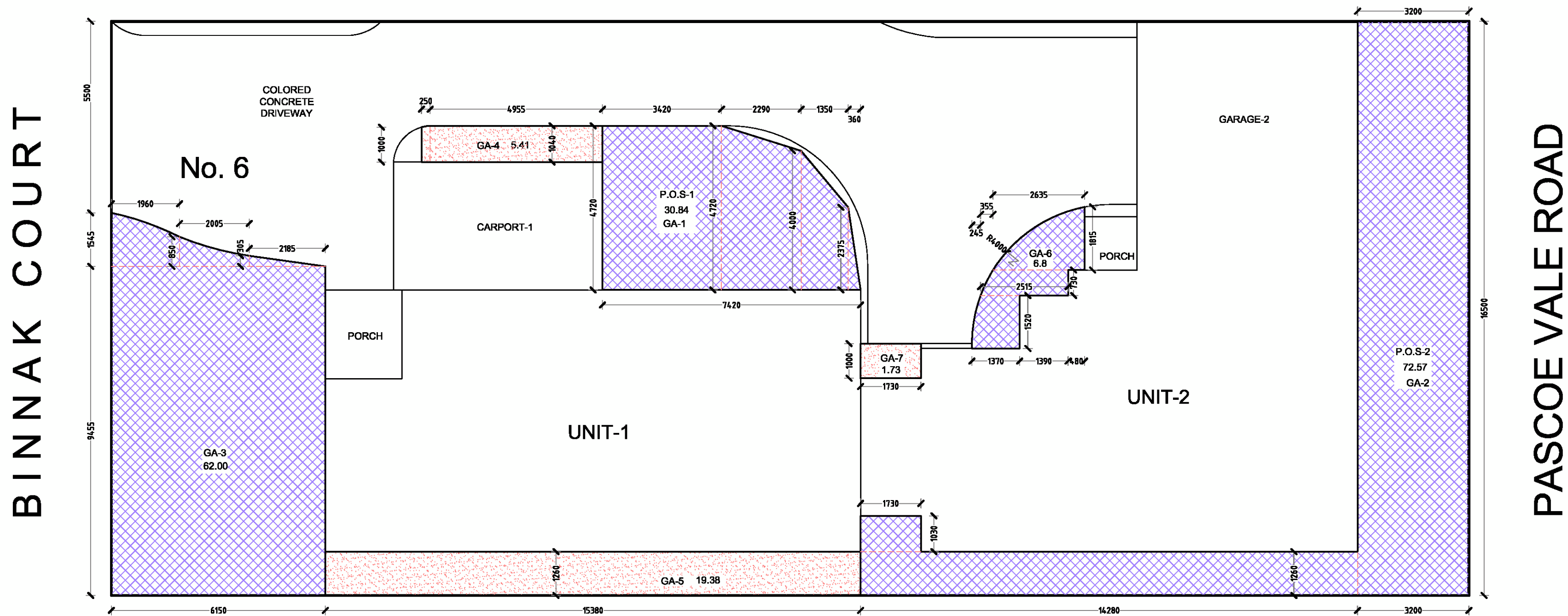
Date Generated: 04-Dec-2021

Program Version: 1.0.0



Storm Water Managment Plan 1:100





Garden Area Plan 1:100

Area Schedule

UNIT-1

EXISTING HOUSE	115.67 sqm
PROPOSED CARPORT	21.0 sqm
TOTAL	136.67 sqm
P.O.S-1	30.84 + 19.38 = 50.22 sqm

UNIT-2

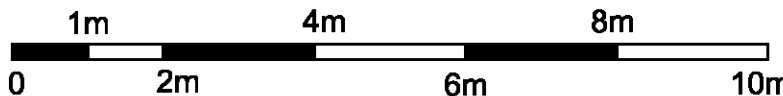
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GA- 6	6.80
GA-7	1.73
Total Garden Area	198.73
Garden Area Ratio	30.86 %

TOWN PLANNING DRAWING ONLY
NOT FOR CONSTRUCTION



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AS
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-Verify all dimensions on site before commencing any work.
-Do not scale any dimensions from drawings.

PROJECT
Proposed Townhouse at the back of :
6 Binnak Court, Meadow Heights

OWNER

DRAWING TITLE

Garden Area Plan

PROJECT NO. 22113

DRAWING NO. TP11

SCALE

DATE

REVISION

1: 100 @ A2

9 - 12 - 2021

2





STORM Rating Report

TransactionID: 1285910
Municipality: HUME
Rainfall Station: HUME
Address: 6 Binnak Court

Meadow Heights
VIC 3048

Assessor: DDD Arch
Development Type: Residential - Multiunit
Allotment Site (m2): 644.00
STORM Rating %: 101

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
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Driveway	90.00	None	0.00	0	0.00	0.00
Roof -2 To RG	45.80	Raingarden 100mm	0.90	0	127.90	0.00