

Office Use Only Application No.:

Date Lodged

Application for

Planning Permit

Planning Enquiries Phone: 03 9205 2200 Web: http://www.hume.vic.gov.au

If you need help to complete this form, read How to complete the Application for Planning Permit form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the Planning and Environment Act 1987. If you have any concerns, please contact Council's planning department.

A Questions marked with an asterisk (*) are mandatory and must be completed.

A If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address

Unit No.: St. No.: 64 St. Name: ELECTRIC STREET Suburb/Locality: BROADMEADOWS Postcode:

Formal Land Description * Complete either A or B.

A This information can be found on the certificate of title.

Α	Lot No.: 262	OLodged Plan	OTitle Plan	OPlan of Subdivision	No.: 058950
OR					
В	Crown Allotmen	t No.:	Section No.		
	Parish/Township	o Name:			

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal A You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit?*

> If you need help about the proposal, read: How to Complete the Application for Planning **Permit Form**

Dual Occupancy

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of development for which the permit is required *

You may be required to verify this estimate. Cost \$400000 Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the Planning and Environment Act 1987) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. VIsit www.sro.vic.gov.au for Information.

Existing Conditions II

Describe how the land is used and developed now *

> eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

2 dwellings This copied document is made available for the sole purpose. of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Provide a plan of the existing conditions. Photos are also neighbor not be to scale.

VIC. Aus

If you need help about the title, read: How to complete the Application for Planning Permit form Applicant and Owner Provide details of the applicant and	Section 173 agree Yes. (If 'yes' co No Not applicable Provide a full, of (The title includedocuments, kn) Details	al breach, in any way, an encement or other obligation such ontact Council for advice on he (no such encumbrance applied current copy of the title for each des: the covering 'register search own as 'instruments', eg. restriction.	ch as ar ow to pr es). individu	n easement or building oceed before continuing tall parcel of land forming the title diagram and	envelope? with this application.) the subject site.
Applicant *	Name: Title: Mr	First Name:STEVEN	1	Surname: COLAKIDIS	
The person who wants the permit.	20 30 30 0000			200 - Wester College State (1907) (19	,
Sections I visibility consists	Organisation (if ap	oplicable): COMPOSITE DES	IGN & E	DRAFTING	
	Postal Address: Unit No.:	St. No.: 4		a P.O. Box, enter the details to arme: MUSTER DRIVE	nere:
	Unit No.:	St. No.: 4	St. N	ame: MUSTER DRIVE	
	Suburb/Locality: A	INTREE	State	o: VIC	Postcode: 3336
Where the preferred contact person for the application is different from the applicant, provide the details of that	Contact person's deta		s	Ţ	to 'contact information')
person.	Title: Mr	First Name: STEVEN		Surname: COLAKIDIS	
	Organisation (if ap	oplicable): COMPOSITE DES	IGN & [DRAFTING	
	Postal Address:		If It Is a	a P.O. Box, enter the details i	nere:
	Unit No.:	St. No.:4	St. N	ame: MUSTER DRIVE	
	Suburb/Locality: A	INTREE	State	e: VIC	Postcode:3336
Please provide at least one contact phone number *	Contact Information	on			_
contact phone number	Business Phone:		Emai	il: compositedesigndraft	ting@gmail.com
	Mobile Phone: 04	17331575	Fax:		
Owner * The person or organisation					
who owns the land Where the owner is differented from the applicant, provide the details of that person o organisation.					
Declaration ii					
This form must be signed by th	e applicant *	This copied do	cume	nt is made availab	ole for the sole purpose
Remember it is against the law to provide false or misleading information,	I declare that I am correct; and the ow	of enabling its the applicant; and that all the vner (if no PHOSER) Res 1668 F	consi	deration and revie fion in this application is IANO 1986 NO 1887 NEW W.	ew as part of a planning true and onment Act 1987.
which could result in a heavy fine and cancellation	Signature:			e used for any oth Date: 197 plan may not be to	

of the permit.

Title Information II

day / month / year

VIC. Aus

Need help with the Application? If you need help to complete this form, read How to complete the Application for Planning Permit form General information about the planning process is available at www.delwp.vic.gov.au/planning Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application. Has there been a O No Yes pre-application meeting with a Council planning officer? Checklist II 9 Have you: Filled in the form completely? Most applications require a fee to be paid. Contact Council to ✓ Paid or included the application fee? determine the appropriate fee. Provided all necessary supporting information and documents? A full, current copy of title information for each individual parcel of land forming the subject site A plan of existing conditions. Plans showing the layout and details of the proposal Any information required by the planning scheme, requested by council or outlined in a council planning permit If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts). If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void. Completed the relevant Council planning permit checklist? Signed the declaration (section 7)?

Lodgement II

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council

PO Box 119 Dallas VIC 3047

Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200 Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To Your Computer You can save this application form to your computer to complete or review later

or email it to others to complete relevant sections.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders,

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08868 FOLIO 626

Security no : 124127245351P Produced 18/08/2025 05:20 PM

LAND DESCRIPTION

DATE RECEIVED 19/08/2025

Lot 262 on Plan of Subdivision 058950. PARENT TITLE Volume 08744 Folio 066 Created by instrument Al26501 21/12/1970

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP058950 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

DOCUMENT END

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Title 8868/626 Page 1 of 1



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Document Identification	LP058950
Number of Pages	4
(excluding this cover sheet)	
Document Assembled	18/08/2025 17:20

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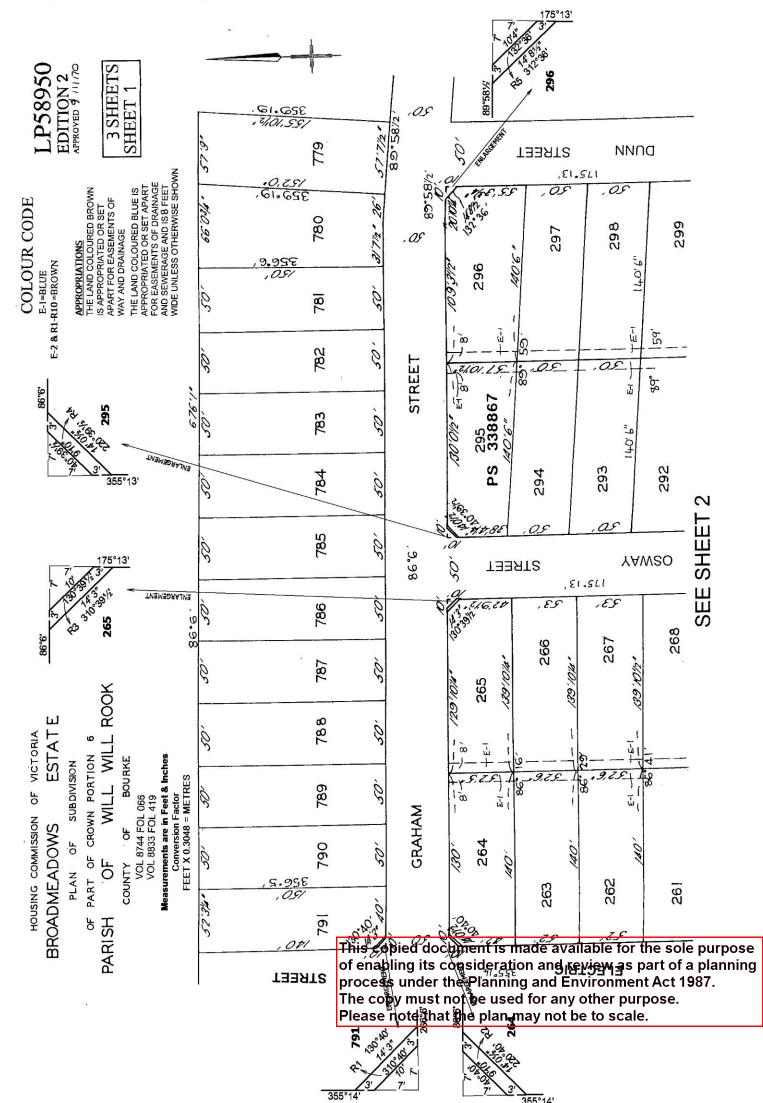
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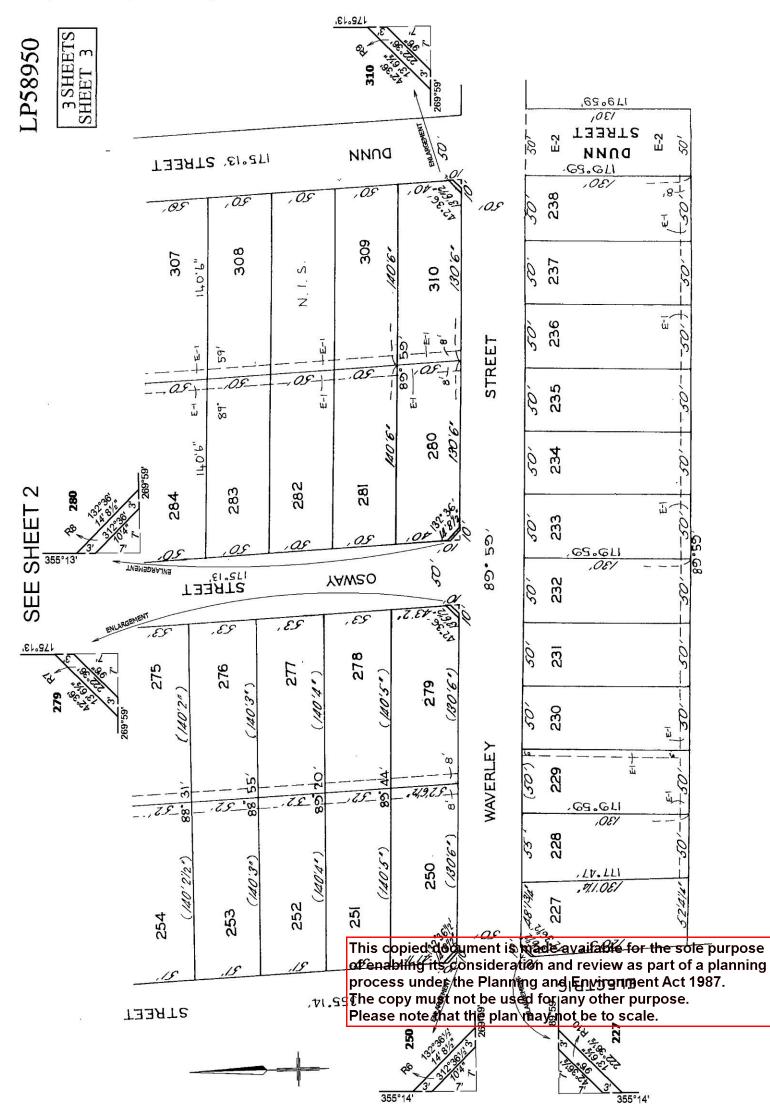
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322.14,

ELECTRIC



RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER LP58950

NO FURTHER AM	IENDMENTS ARE TO	BE MADE TO	THE ORIGINAL DO	CUMENT OF TH	E REGIS	TER.	
AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	МО	DIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 227		REMOVA	AL OF EASEMENT	PS741064P	04/05/16	2	W.S.
			This copied docun of enabling its con process under the	sideration and	review	as part	of a plan
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GENERAL NOTES

DIMENSIONS SHOWN ARE ONLY APPROX.

SERVICES WITH CLOSE PROXIMITY TO SITE HAVE BEEN SHOWN

THESE DRAWINGS ARE A REPRESENTATION TO EXISTING AERAL VIEW TAKEN FROM GOOGLE

DISTANCES MEASURED FROM SHOPS, SCHOOLS AND RESERVES ARE MEASURED AT LINE OF SIGHT

DATE RECEIVED 28/10/2025

SURROUNDING AREAS IN CLOSE PROXIMITY TO SUBJECT SITE

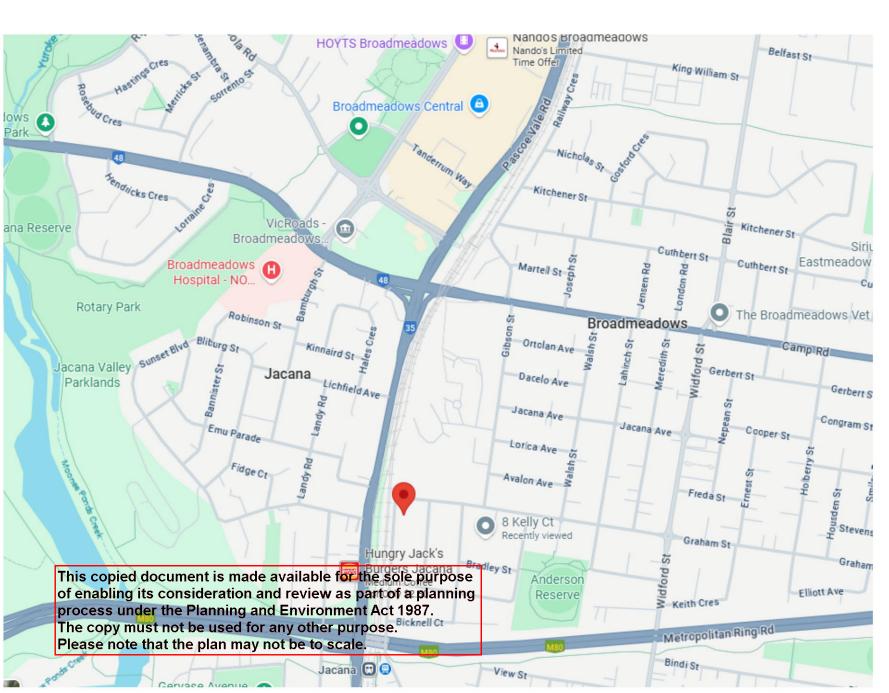
PUBLIC TRANSPORT
Jacana Train Station - 485m

PUBLIC OPEN SPACE, SPORT AND RECREATION FACILITIES
Anderson Reserve - 400m

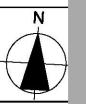
EDUCATION SERVICES
Penola Catholic College (354m)
St Dominic's School (894m)
Broadmeadows Valley Primary School (1135m)
Hume Central Secondary College (1143m)

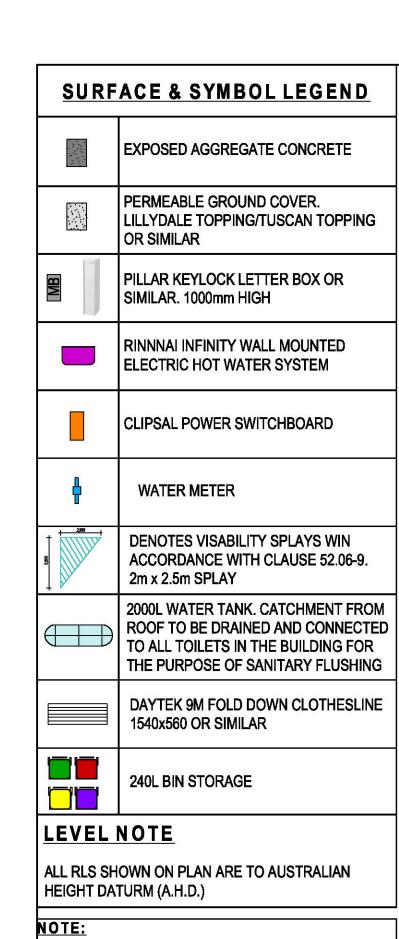
RETAIL SERVICES
Broadmeadows Central - 850m











ALL OPENABLE WINDOWS TO BE FITTED WITH FLY

SLIDING DOORS TO BE FITTED WITH SECURITY SCREEN DOORS TO ASSIST WITH CROSS VENTILATION

NO BUILDING MATERIALS ARE TO BE STACKED AND/OR DUMPED ON THE NATURESTRIP DURING CONSTRUCTION NOTE:

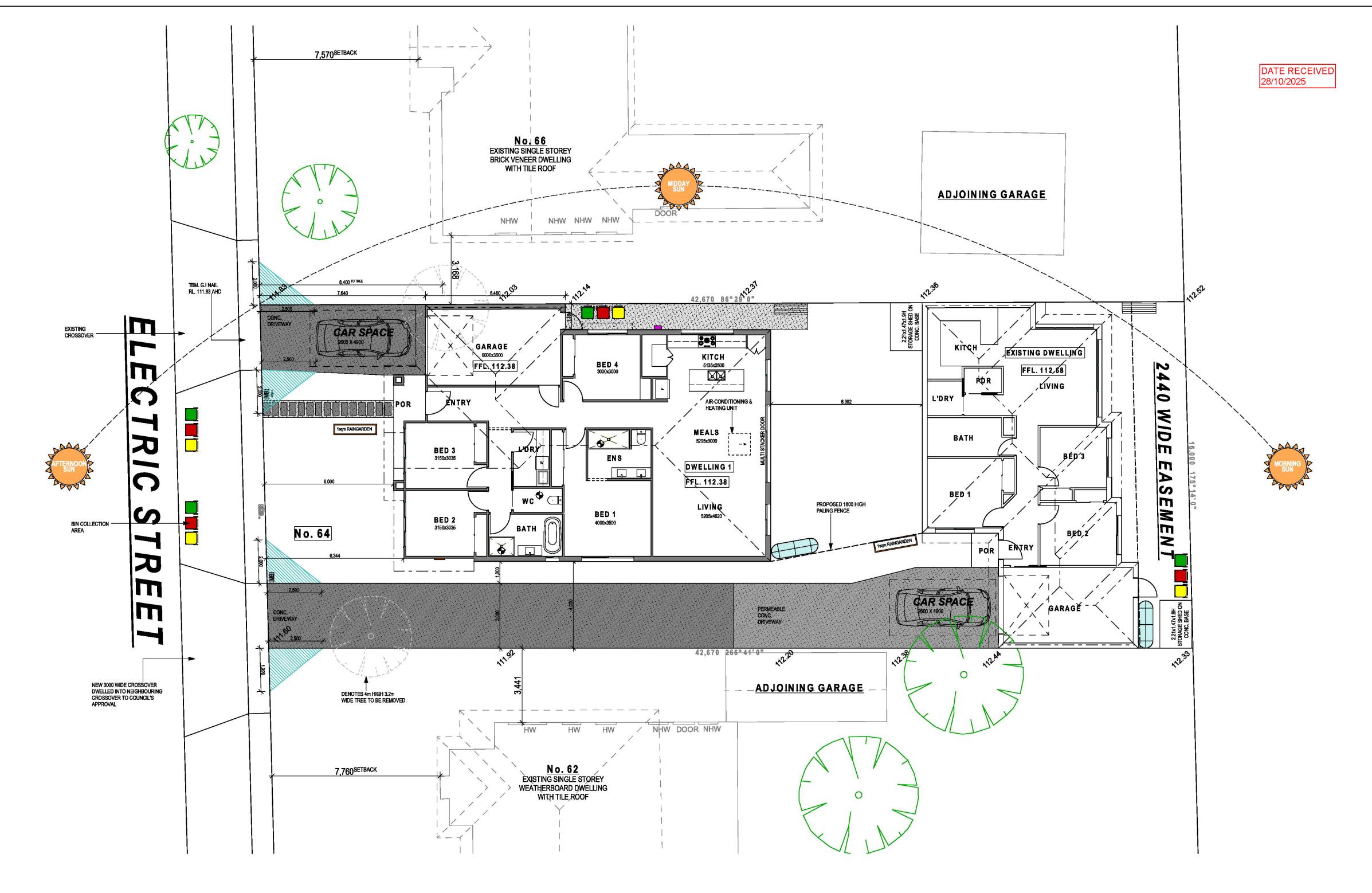
ALL HABITABLE WINDOWS TO BE DOUBLE GLAZED NOTE:

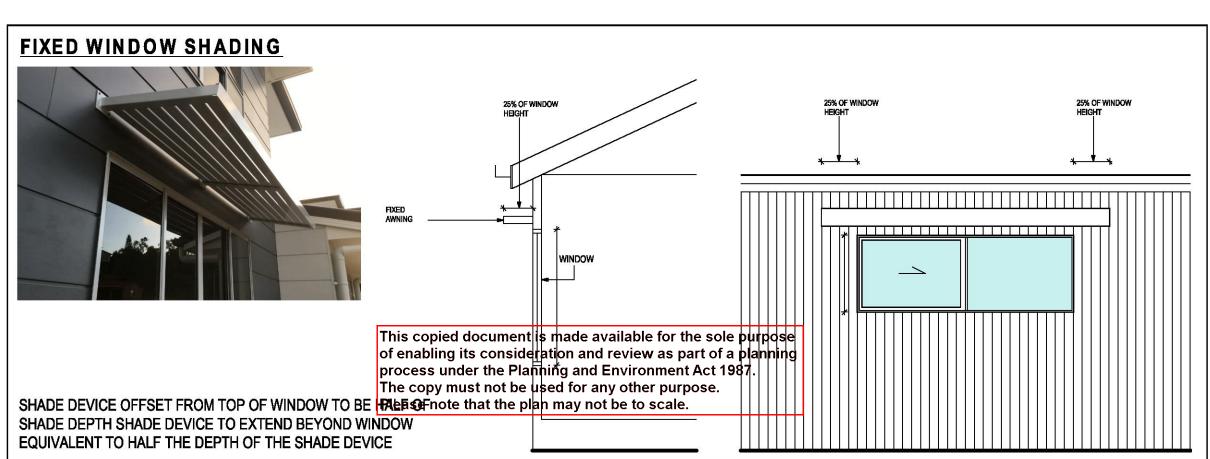
WALL WINDOWS CAN BE LOCKED IN OPEN POSITION

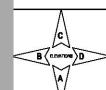
THERMAL PERFORMACE RATING UNIT 1: 7.0 STARS UNIT 2: 7.0 STARS

DEVELOR	MENT ARE	<u>1</u>
SITE AREA	679.36 Sql	M
SITE COVERAGE	313.63 Sqr	n (46.16%)
GARDEN AREA	237.81 Sqr	п (36.18%)
PERMEABLE AREA	221.90 Sqr	n (32.66%)
AREA S	CHEDULE	
DWELLING 1		
DWELLING FOOTPRINT	AREA	190.08sqm
PRIVATE OPEN SPACE		167.10sqm
SECLUDED PRIVATE OF	PEN SPACE	94.16sqm
DWELLING 2		
DWELLING FOOTPRINT	AREA	123.55sqm
PRIVATE OPEN SPACE		198.56sqm
SECLUDED PRIVATE OF	PEN SPACE	56.15sqm

BUILDING AREA DWLLING 1
GROUND FLOOR | 161.30sqm | 17.36sq GROUND FLOOR | 97.33sqm | 10.47sq 0.20sq 5.20sqm 0.55sq PORCH GARAGE 23.58sqm 2.53sq GARAGE 24.27sqm 2.61sq

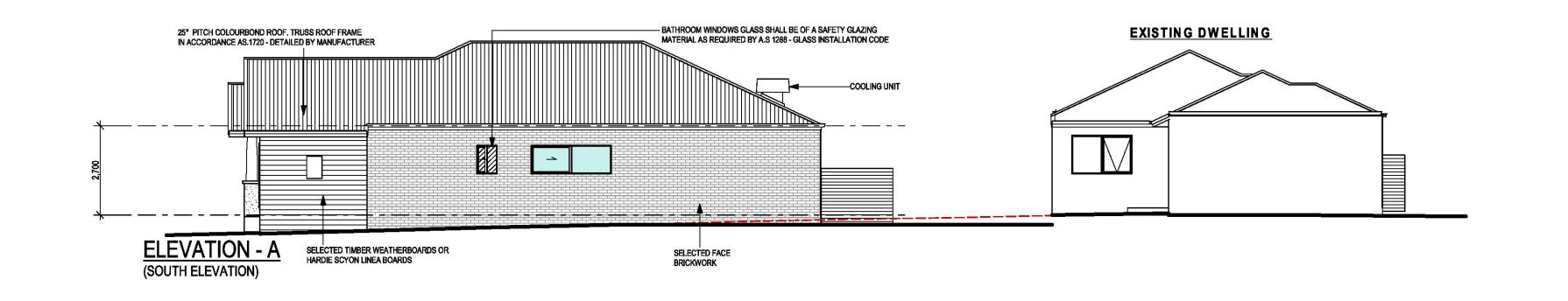




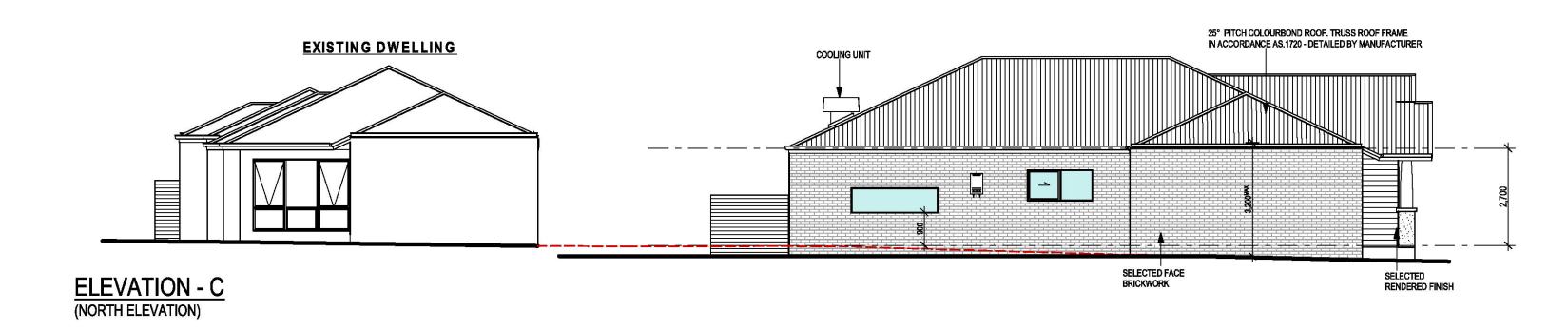




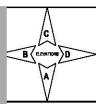


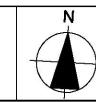


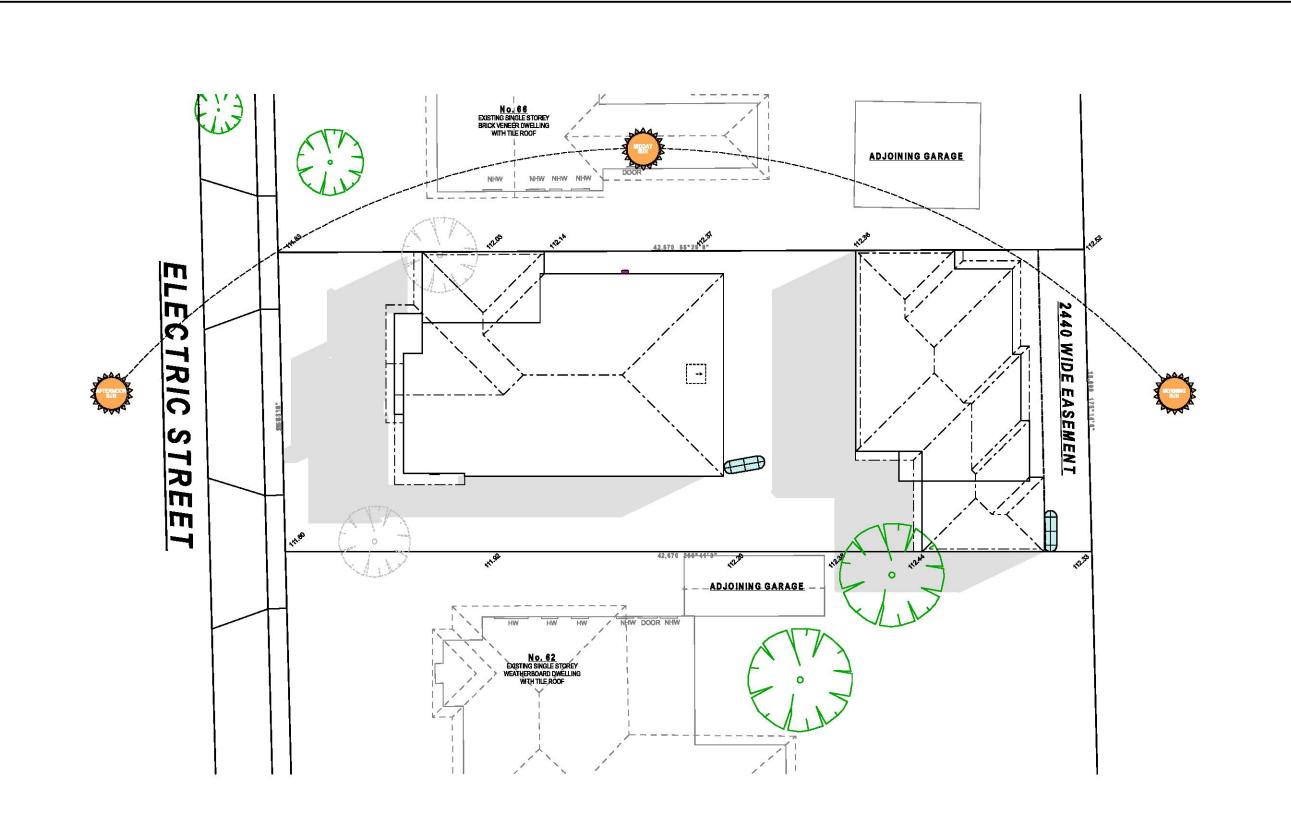


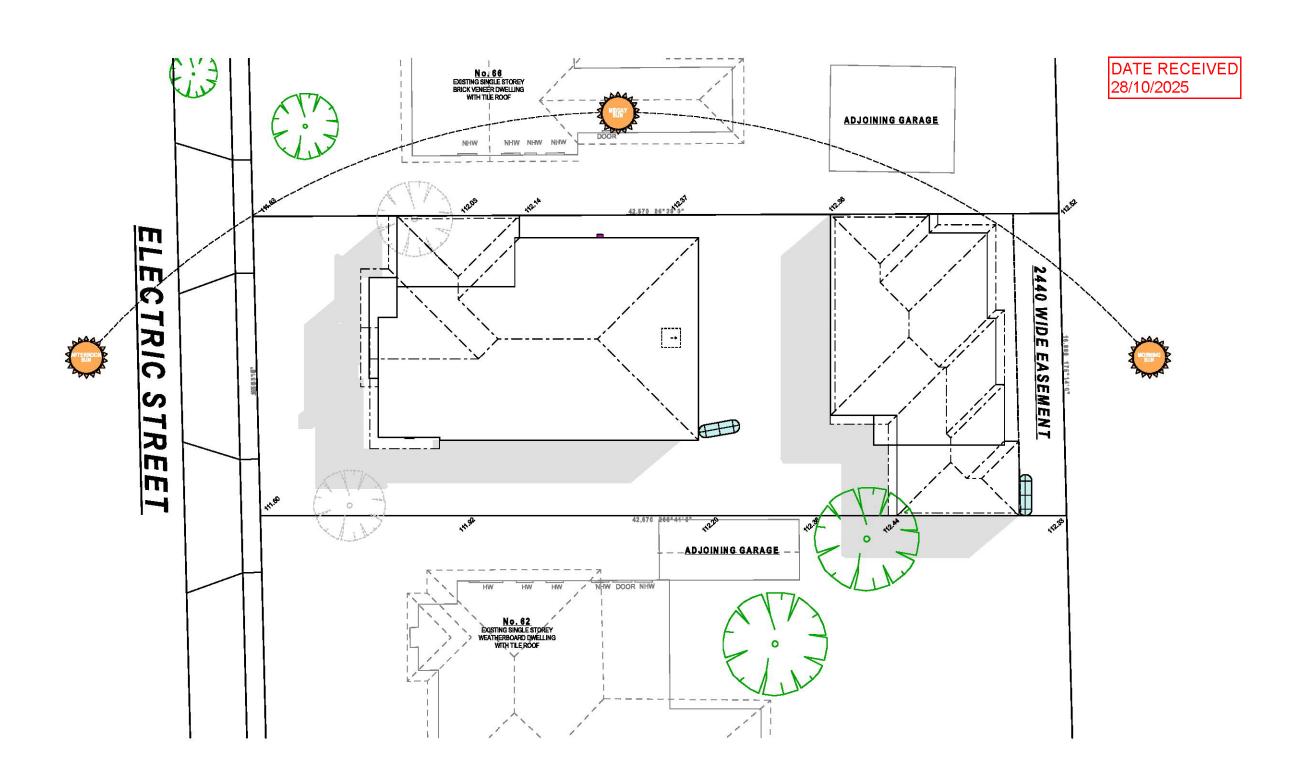


201	OUR & MATERIA	I CCHEDIII E								
EXTERNAL FINISH	MANUFACTURER		SAMPLE							
BRICK VENEER WALLS	AUSTRAL BRICK	INDUSTRIAL STEEL		*	No. 66		*	No. 64 (SUBJECT SITE)	*	No. 62
RENDERED WALLS	DULUX	WHISPER WHITE								
GABLE FEATURE	DULUX	WHISPER WHITE			<u></u>					
PORCH FINISH	DULUX	WHISPER WHITE								
FEATURE PIER	TILE	GREY								
WINDOWS & SLIDING DOORS	A&L	BLACK								
ENTRY DOOR	DULUX	MONUMENT				STREET				
GARAGE DOOR	STEELINE	SURFMIST				(WEST ELEVA	ATION			
ROOF FINISH	COLOURBOND	MONUMENT								
FASCIA	DULUX	MONUMENT								
GUTTERS	DULUX	MONUMENT								
DOWNPIPES	DULUX	MONUMENT								
COOLING SYSTEM	DULUX	MONUMENT								to the state of th
METER BOX	DULUX	MONUMENT								he could use that the plan may not be to sca
DRIVEWAY FINISH	DULUX	COLOURED CHARCOAL								



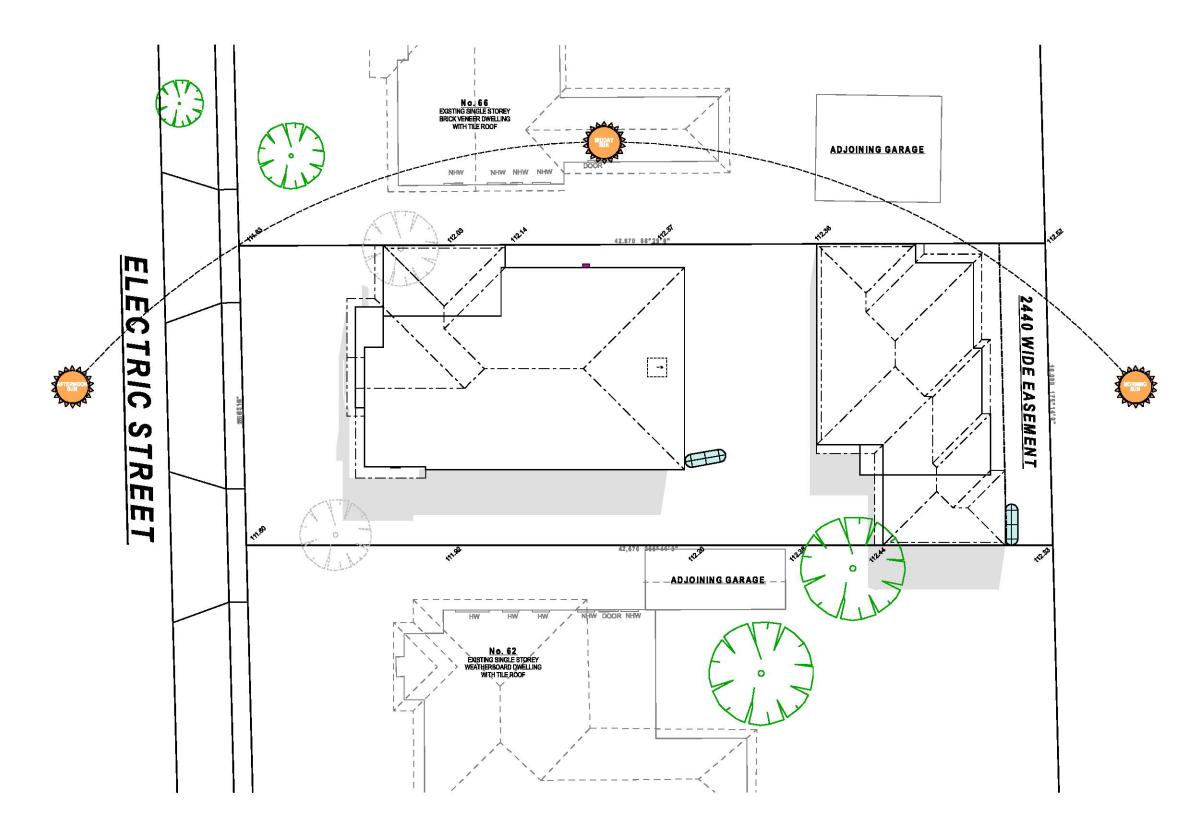




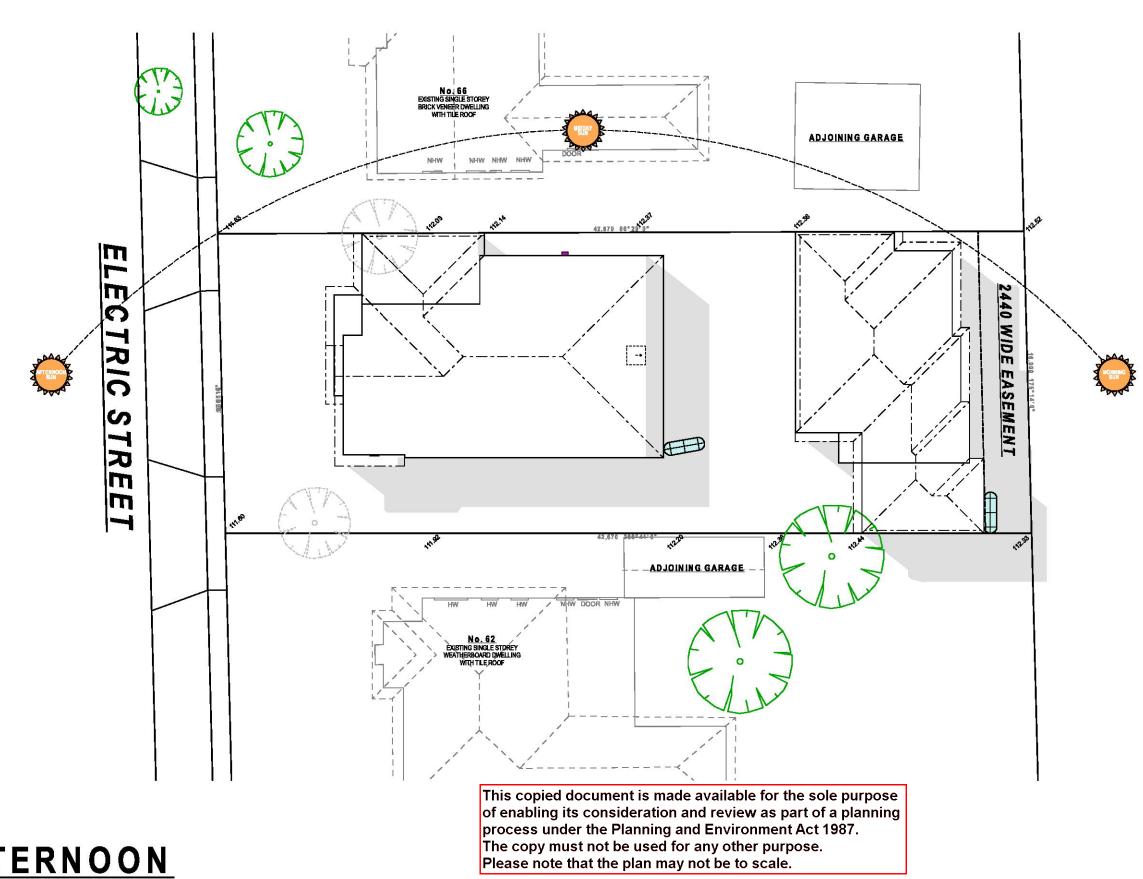


9 AM MORNING SHADOW

10 AM MORNING SHADOW



12PM MIDDAY SHADOW



3 PM AFTERNOON SHADOW



LANDSCAPE SPECIFICATION

. SITE PREPARATION

All existing vegetation and weeds, including roots, are to be removed from the garden bed area. This can be done by hand or with a non-residual glyphosatebased herbicide. If the existing soil is contaminated or of poor quality, excavate to a depth of 300–400mm and dispose of the material off-site to a licensed facility.

2. SOIL PREPARATION & CONDITIONING

Install certified clean sandy loam or an organic soil mix that complies with AS 4419, to a depth of 300mm. Ensure the soil has an organic content of 5–10%. Incorporate a soil conditioner such as compost, well-rotted manure, or mushroom compost into the top 200mm of soil at a rate of approximately 1 cubic metre per 10 square metres. Adjust the soil pH based on test results using dolomite lime or sulphur to achieve a pH between 6.0 and 7.0.

3. EDGING

If garden bed edging is required, install 100mm x 6mm galvanized or powdercoated steel edging, pegged at 1-metre intervals. Edging should be level and flush with the surface. Alternatives such as timber, concrete, or brick may be used to suit the site design or council specifications.

4. IRRIGATION SYSTEM

Install a pressure-compensating dripline irrigation system (13–16mm) to cover the entire garden bed. Lines should be spaced 30-40cm apart and may be surfacelaid or buried. A battery or mains-powered controller with a rain sensor is to be installed and programmed for early morning watering. If the system connects to potable water, include a backflow prevention device (double-check valve) in accordance with AS/NZS 3500.

5. MULCH APPLICATION

Apply a 75–100mm layer of fine-grade pine bark or euca mulch over the entire bed. Ensure mulch is kept at least 100mm away from plant stems. For lowmaintenance or decorative areas, 50mm of gravel or scoria may be used instead.

6. PLANTING

Select species appropriate for the microclimate, soil, and garden bed design, as per the planting schedule. Dig planting holes twice the diameter of the root ball and gently tease the roots before planting. Water all plants thoroughly after installation.

7. MAINTENANCE SCHEDULE (ESTABLISHMENT PHASE)

Water newly planted areas 2 to 3 times per week during the first three months, reducing frequency as plants establish. Weeding should occur monthly through manual removal. Mulch levels should be topped up every six months to maintain 75mm coverage. Inspect plants monthly and replace any failed stock within three months. Apply a controlled-release fertiliser such as Osmocote Native 8-12 weeks after planting.

B. PLANTING ESTABLISHMENT NOTES

All plant stock must be sourced from reputable nurseries that comply with AS 2303: Tree Stock for Landscape Use. Plants should be healthy, well-rooted, and free from pests, diseases, or structural defects. Prior to purchase, inspect stock to ensure it meets specified pot sizes and form standards. Upon delivery to site, protect plants from extreme weather conditions and plant them as soon as practicable. If planting is delayed, keep plants well-watered and sheltered. Plant during the cooler parts of the day to reduce transplant stress. Following planting, water in thoroughly, and maintain consistent moisture during

Establishment maintenance includes: Watering regularly to avoid drying out or waterlogging. Fortnightly inspections for the first 3 months to check health and irrigation. Replacing any failed plants within 3 months of installation. Keeping garden beds weed-free and topping up mulch around stems. Applying a slow-release fertiliser suited to the species 8-12 weeks after planting.

the establishment phase. Monitor and adjust drip irrigation to ensure even

All works must comply with AS 4419 (Soils), AS 4454 (Compost & Mulch), and AS 2303 (Tree Stock Quality). Ensure that Tree Protection Zones (TPZs) are maintained around any existing trees. For projects in the public realm or under council authority, refer to local landscaping and planting standards.

TREE PROTECTION ZONE DISTANCES

(A) THE NATURESTRIP AND STREET TREE WITHIN NORTH STREET FRONTAGE OF THE SITE MUST BE BARRICADED OUT USING PORTABLE CYCLONE FENCING FOR THE DURATION OF THE DEVELOPMENT. COSTS OF SUCH FENCING MUST BE BORNE BY THE DEVELOPER AND/OR PERMIT HOLDER.

(B) NO PRUNING OF THE EXISTING STREET TREE LOCATED WITHIN THE NATURE STRIP WITHIN THE NORTH STREET OF THE SITE SHALL BE UNDERTAKEN BY ANY PARTY OTHER THAN BRIMBANK TREE SERVICES. (C) NO BUILDING MATERIALS ARE TO BE STACKED AND/OR DUMPED ON ANY NATURESTRIP DURING CONSTRUCTION.

THE TREE PROTECTION ZONE (TPZ) AROUND THE EXISTING STREET TREE MUST BE FENCED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS4970-2009 - PROTECTION OF TREES ON DEVELOPMENT SITES. THE FOLLOWING ACTIVITIES MUST NOT OCCUR WITHIN THE TPZ: (A)CONSTRUCTION OF ANY WORKS WITHOUT THE SUPERVISION OF A

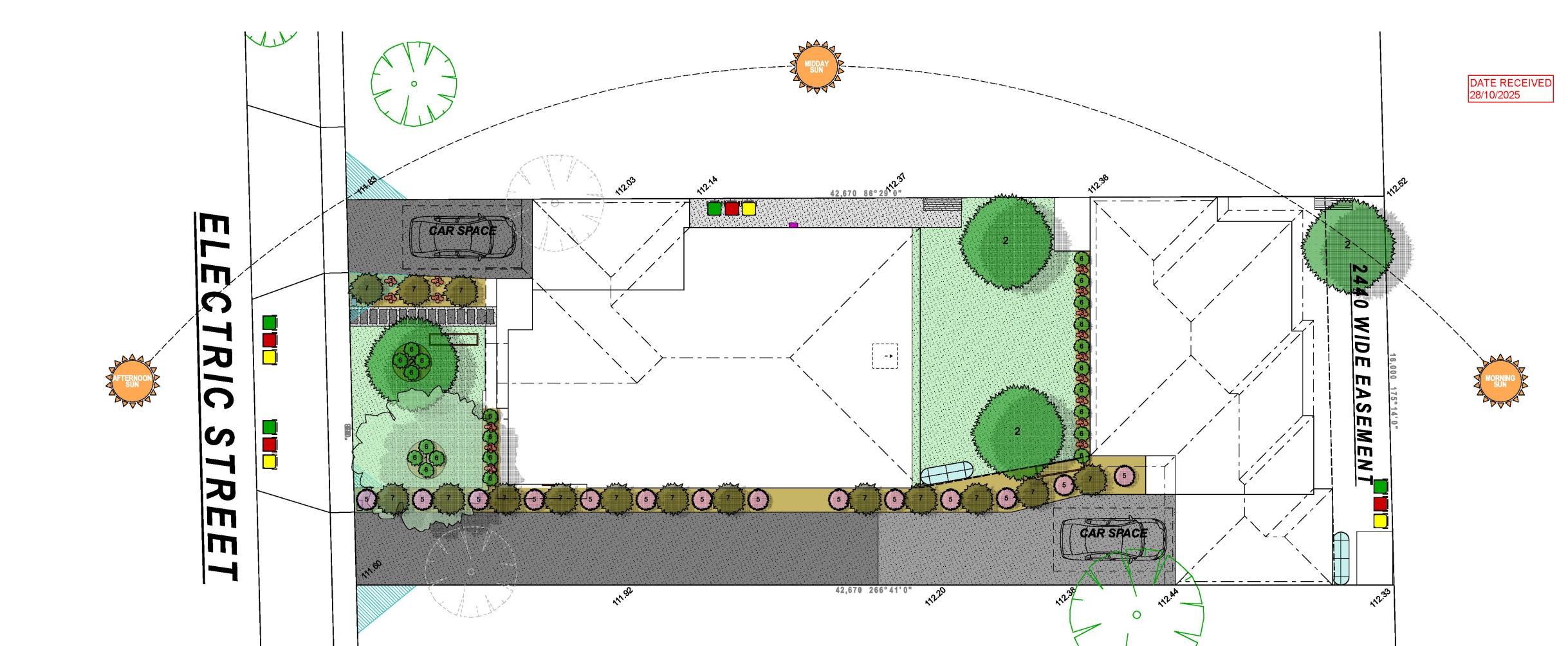
QUALIFIED ARBORIST; (B)DRIVING OR PARKING OF ANY VEHICLES OR MACHINERY; (C)STOCKPILING OF BUILDING MATERIALS, DEBRIS OR SOIL;

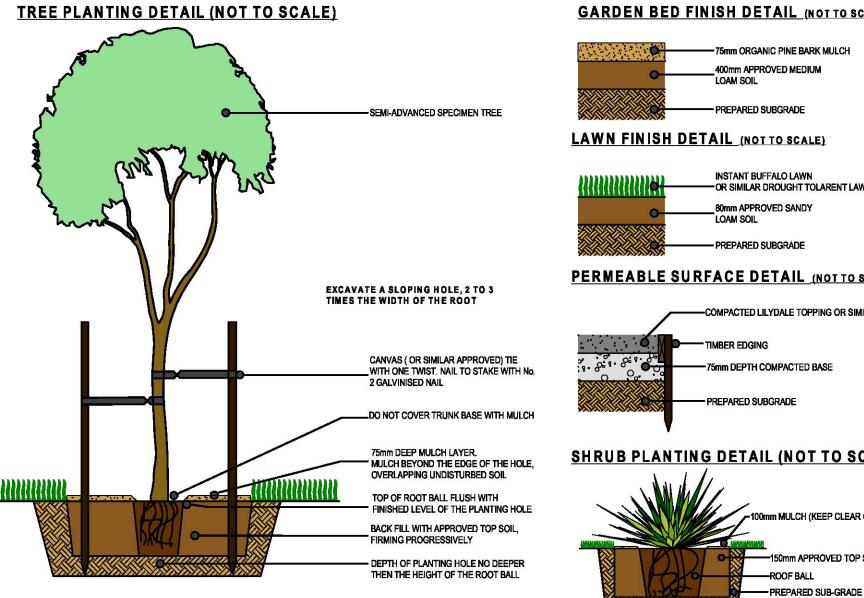
D)DUMPING OF FUEL, OIL OR CHEMICALS; (E)ALTERING OF SOIL LEVELS; (F)OPEN TRENCHING, INCLUDING FOR THE PLACEMENT OF PIPES OR

(G)ATTACHMENT OF WIRES, NAILS, SCREWS OR ANY OTHER FIXING DEVICE TO THE EXISTING TREE/S.

SUPPLEMENTARY WATERING MUST BE PROVIDED TO TREES THROUGH DRY PERIODS AND DURING AND AFTER THE CONSTRUCTION PROCESS. DRIP SYSTEM IRRIGATION TO BE INSTALLED THROUGHOUT

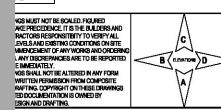
AUTOMATED DRIP IRRIGATION SYSTEM TO TO BE INSTALLED THROUGH ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH



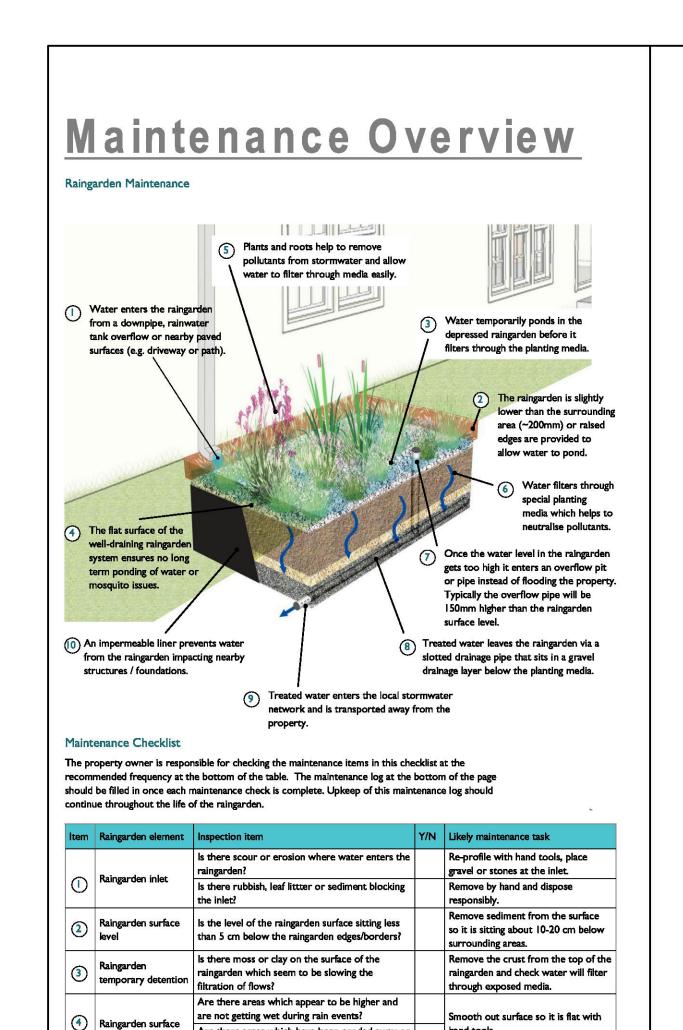


N BED FINISH DETAIL (NOT TO SCALE)				MODES PANNET	T					T-6-11
		CODE	BOTANICAL N	<u>IAME</u>		COMMON NAME	MATURE HEIGHT	MATURE WIDTH	POT SIZE	TOTAL #
75mm ORGANIC PINE BARK MULCH 400mm APPROVED MEDIUM LOAM SOIL							(mm)	(mm)	<u>(mm)</u>	USED (mm)
PREPARED SUBGRADE		TREES								<u> </u>
NISH DETAIL (NOT TO SCALE)		1	BANKSIA INTEGRIFOLIA	{		COASTAL BANKSIA	15,000	6,000	250	2
INSTANT BUFFALO LAWN OR SIMILAR DROUGHT TOLARENT LAWN	TREES ARE TO BE			كرويهما			-	_		
80mm APPROVED SANDY LOAM SOIL	NO LESS THAN 2.0 METERS	2	EUCALYPTUS 'EUKY DWARF'			DWARF EUCALYPTUS	10,000	4,000	250	0
PREPARED SUBGRADE	L	SHRUB	<u> </u> :S							
BLE SURFACE DETAIL (NOT TO SCALE)			ANIGOZANTHOS	~5~~~	**************************************	KANGAROO PAW	2,000	400	150	0
COMPACTED LILYDALE TOPPING OR SIMILAR		3		Cy C						
TIMBER EDGING 75mm DEPTH COMPACTED BASE		4	WESTRINGIA FRUTICOSA			COAST ROSEMARY	1,500	1,500	150	2
PREPARED SUBGRADE		5	CROWEA PINK STAR	7		PINK CROWEA	900	900	150	2
LANTING DETAIL (NOT TO SCALE)		6552		Manual Property and the second						
A. 1 //		TUSSO	CK PLANTS/GR	OUND COV	ERS	This copied	document is	s made avail	able for th	e sole purp
-100mm MULCH (KEEP CLEAR OF TRUNCH		6	THYMUS SERPYLLUM ALBA	E STATE OF THE STA			ici ule i lali	ing and Eng	vii Omment.	дестоот.
CARACTER MANAGEMENT			39	Engroot		The copy model. Please note				ose.
150mm APPROVED TOP SOIL ROOF BALL		7	GARDENIA JASMINOIDES	E May 2	1872		500		100	24
PREPARED SUB-GRADE		'	RADICANS	Ewww						

TIMBER EDGING INSTALLED TO SEPARATE LAWN, GARDEN BEDS, GRAVEL/PEBBLES					
TIMBER DECKING					
EXPOSED AGGREGATE CONCRETE					
GARDEN BEDS					
LAWN AREA					
LILYDALE TOPPING GRAVEL PEBBLES					
FOLD DOWN CLOTHESLINE					
STEPPING PAVERS					







Are there areas which have been eroded away or

Are the plants looking unhealthy or dying?

Are there weeds present?

Stormwater network | Is there water ponding in the overflow pit or pipe

Are there bare patches forming between plants?

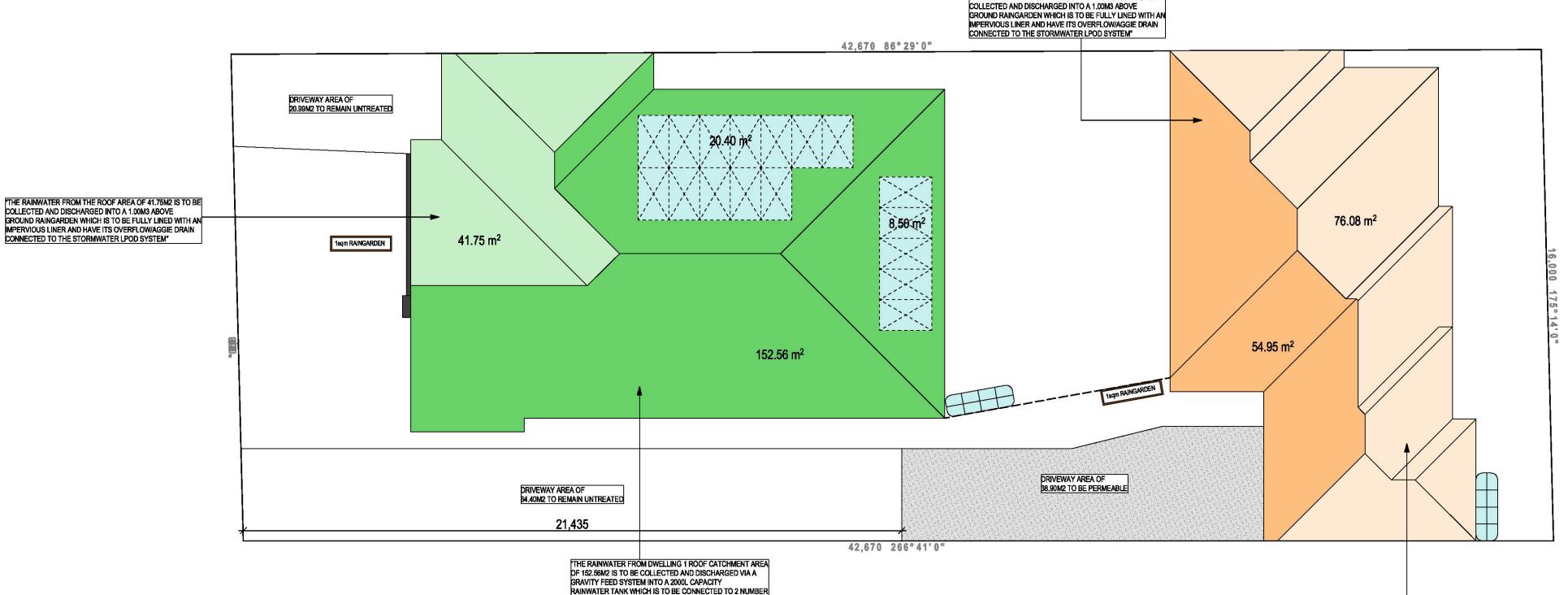
Is the raingarden holding water for more than a

Is there anything blocking the top of the overflow

Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec

couple of hours after the rain has stopped?

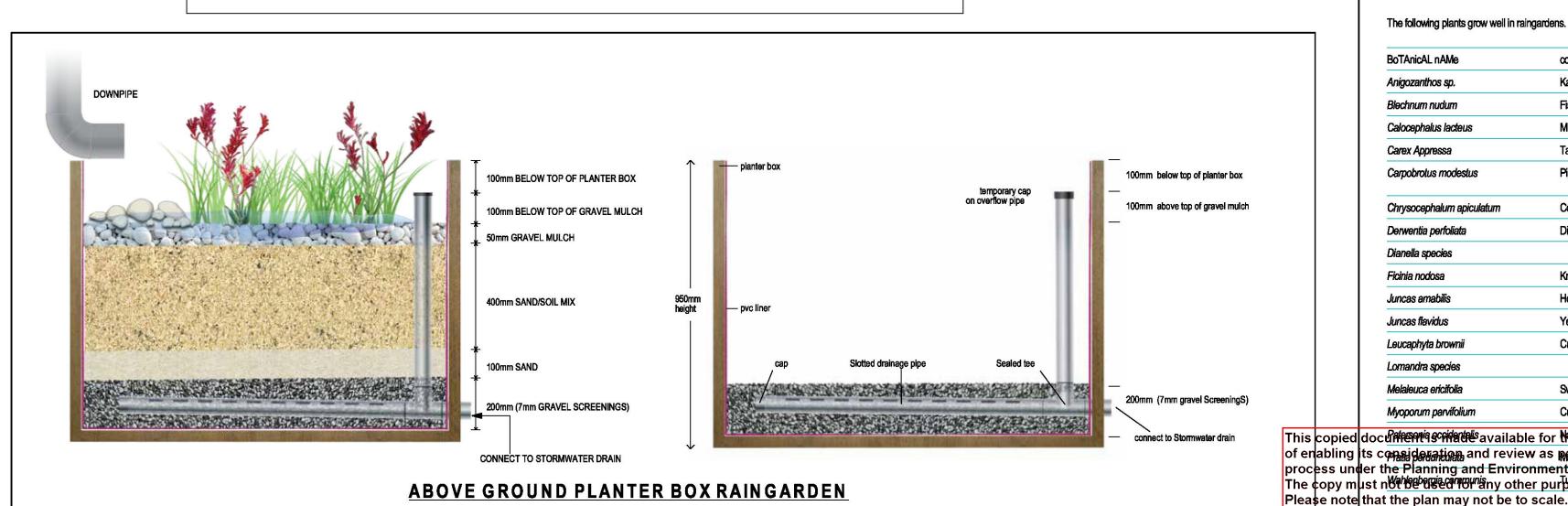
oit / pipe preventing water from entering?



THE RAINWATER FROM THE ROOF AREA OF 54,95M2 IS TO BE

THE RAINWATER FROM DWELLING 2 ROOF CATCHMENT AREA OF 76.08M2 IS TO BE COLLECTED AND DISCHARGED VIA A GRAVITY FEED SYSTEM INTO A 2000L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO 2 NUMBER TOILETS FOR TOILET FLUSHING".

Melbourne STORM Rating Report TransactionID: HUME Municipality: Rainfall Station: HUME 64 Electric Street Address: Broadmeadows VIC Steven Colakidis Residential - Multiunit Development Type: Allotment Site (m2): STORM Rating %: Tank Water Treatment Occupants / Treatment % Description Impervious Area Treatment Type Area/Volume Number Of Supply (m2 or L) Bedrooms Reliability (%) Dwelling 1 Roof 152.56 2,000.00 112.20 85.00 Dwelling 1 Roof 41.75 Raingarden 100mm 1.00 129.90 0.00 0.00 0.00 0.00 Dwelling 1 driveway 0.00 Dwelling 2 driveway None 76.08 2,000.00 152.40 86.00 Dwelling 2 Roof Rainwater Tank Dwelling 2 Roof Raingarden 100mm 1.00 126.50 0.00



ardens.		
coMMon nAMe	condiTionS	Size (H x W) (cm)
Kangaroo paw	Full sun	30-90 x 100-120
Fishbone Water-fem	Full sun to partial shade	50-100 x 40-80
Milky Beauty-heads	Full sun to partial shade	15-30 x 10-30
Tall Sedge	Full sun to partial shade	80-100 x 120
Pigface	Full sun	20cm high and spreading
Common Everlasting	Full sun	30-90 x 10-30
Digger 's Speedwell	Full sun to partial shade	20-40 x 30-60
	Full sun to partial shade	60-120 x 40-150
Knobby Club-rush	Full sun	50-150 x 60-200
Hollow Rush	Full sun to partial shade	20-120 x 20-50
Yellow Rush	Full sun to partial shade	40-120 x 20-100
Cushion Bush	Full sun, salt tolerant	100 x 200
	Full sun to partial shade	60-120 x 50-100
Swamp paperback	Full sun to partial shade	4m high x 3m wide
Creeping Boobialla	Full sun	20-30 x 300
for ਅਵਿੰਦਤਾਓle purpose	Sun to partial shade	20-40 x 30-60
as part of a planning		
	Kangaroo paw Fishbone Water-fem Milky Beauty-heads Tall Sedge Pigface Common Everlasting Digger 's Speedwell Knobby Club-rush Hollow Rush Yellow Rush Cushion Bush Swamp paperback Creeping Boobialla	coMMon nAMe condiTionS Kangaroo paw Full sun Fishbone Water-fern Full sun to partial shade Milky Beauty-heads Full sun to partial shade Tall Sedge Full sun to partial shade Pigface Full sun Common Everlasting Full sun Digger 's Speedwell Full sun to partial shade Full sun to partial shade Knobby Club-rush Full sun Hollow Rush Full sun to partial shade Yellow Rush Full sun to partial shade Cushion Bush Full sun, salt tolerant Full sun to partial shade Swamp paperback Full sun to partial shade Full sun to partial shade

Plant List — the best plants for your raingarden

ROOF TOP SOLAR ENERATIO B5-3

DATE RECEIVED

28/10/2025

15SQM

26SQM

34SQM

1 BEDROOM HOME

4+ BEDROOM HOME

2 OR 3 BEDROOM HOME

SOLAR PANEL DIAGRAM

RAINGARDEN CONSTRUCTION

STEP 1- EXCAVATION AND PIPE INFRASTRUCTURE

EXCAVATE YOUR RAINGARDEN WITH A GENTLE SLOPE TOWARDS THE STORMWATER OUTLET (WHERE THE WATER WILL EXIT YOUR RAINGARDEN). LINE YOUR RAINGARDEN (BASE AND SIDES) WITH A PVC LINER. OVERLAP THE SHEETS BY 200MM AND SEAL THE JOINS WITH PVC TAPE. PLACE THE 7MM SCREENINGS (GRAVEL) TO A DEPTH OF 50MM. THIS WILL FORM A BASE FOR THE SLOTTED DRAINAGE PIPE. MAKE SURE THE SCREENINGS ARE WASHED AND CLEAN OF EXCESS DIRT AS THIS CAN CREATE BLOCKAGES IN THE RAINGARDENS DRAINAGE.

hand tools.

Prune diseased sections, irrigate and/

type which is doing well. Do not use

fertilizer to improve plant health as

Remove weeds by hand and dispose

Remove and replace the top 100 mm of planting material (loamy sand).

Hush the underdrain or uncover it to

Remove blockages and dispose

check for blockages.

this will pollute the raingarden.

or replace dead plants. If plants keep dying, replace with a different

LAY A 90MM DIAMETER SLOTTED DRAINAGE PIPE HORIZONTALLY ALONG THE CENTRE OF THE RAINGARDEN BASE AND CAP ONE END OF THE SLOTTED DRAINAGE PIPE. CALL

5 Plants

Overflow pit / pipe

+ after heavy rainfall

YOUR PLUMBER TO CONNECT THE DRAINAGE PIPE BACK INTO THE PROPERTY'S EXISTING STORMWATER. CONNECT THE VERTICAL 90MM DIAMETER OVERFLOW PIPE INTO THE SLOTTED DRAINAGE PIPE USING A 90 DEGREE ELBOW PIPE AND SEAL. WHEN THE RAINGARDEN IS FINISHED, THE TOP OF THE OVERFLOW PIPE SHOULD SIT 100MM ABOVE THE GRAVEL MULCH AND 100MM BELOW THE SURROUNDING GROUND LEVEL. INSTALL A TEMPORARY CAP ON TOP OF THE OVERFLOW PIPE TO PREVENT MATERIALS DROPPING INTO IT DURING CONSTRUCTION. SOME PLASTIC TAPED ACROSS THE TOP OF THE PIPE WILL WORK

INSTALL A FRAME TO SEPARATE YOUR RAINGARDEN FROM THE SURROUNDING SOIL. IF USING TIMBER, ENSURE THAT IT IS NO LESS THAT 50MM THICK. WHILE CLASS 1 OR SIMILAR HARDWOOD (200MM X 50MM) IS IDEAL FOR THIS TYPE OF FRAME, YOU CAN USE ANY MATERIAL AVAILABLE THAT IS A SIMILAR THICKNESS AND WON'T WARP OR BEND OVER TIME. EXCAVATE A LEDGE AROUND THE TOP OF THE RAINGARDEN FOR THE FRAME TO REST ON. THE TOP EDGE OF THE FRAME NEEDS TO SIT LEVEL WITH THE SURROUNDING GROUND. ENSURE THAT THE PVC LINER SITS BETWEEN THE FRAME AND SURROUNDING GROUND. SECURE THE PVC LINER TO THE FRAME TO PREVENT SURROUNDING SOIL ENTERING THE RAINGARDEN.

ADD 7MM SCREENINGS (GRAVEL) TO A DEPTH OF 150MM OVER THE SLOTTED DRAINAGE PIPE IN THE BASE OF YOUR RAINGARDEN. THIS BRINGS TO TOTAL DEPTH OF SCREENINGS (GRAVEL) TO 200MM. BE CAREFUL WHEN NOT TO DISLODGE OR DAMAGE THE SLOTTED DRAINAGE PIPE WHEN ADDING THE ADDITIONAL SCREENINGS.

PLACE WHITE WASHED SAND TO A DEPTH OF 100MM OVER THE SCREENINGS (GRAVEL) LAYER.

SAND/SOIL MIX LAYER MIX 4 PARTS WHITE WASHED SAND WITH 1 PART TOPSOIL. ADD THIS MIX TO THE RAINGARDEN TO A DEPTH OF 400MM.

STEP 3 - PIPE ADJUSTMENTS, PLANTS AND MULCH

COMPLYING WITH YOUR LOCAL WATER RESTRICTIONS.

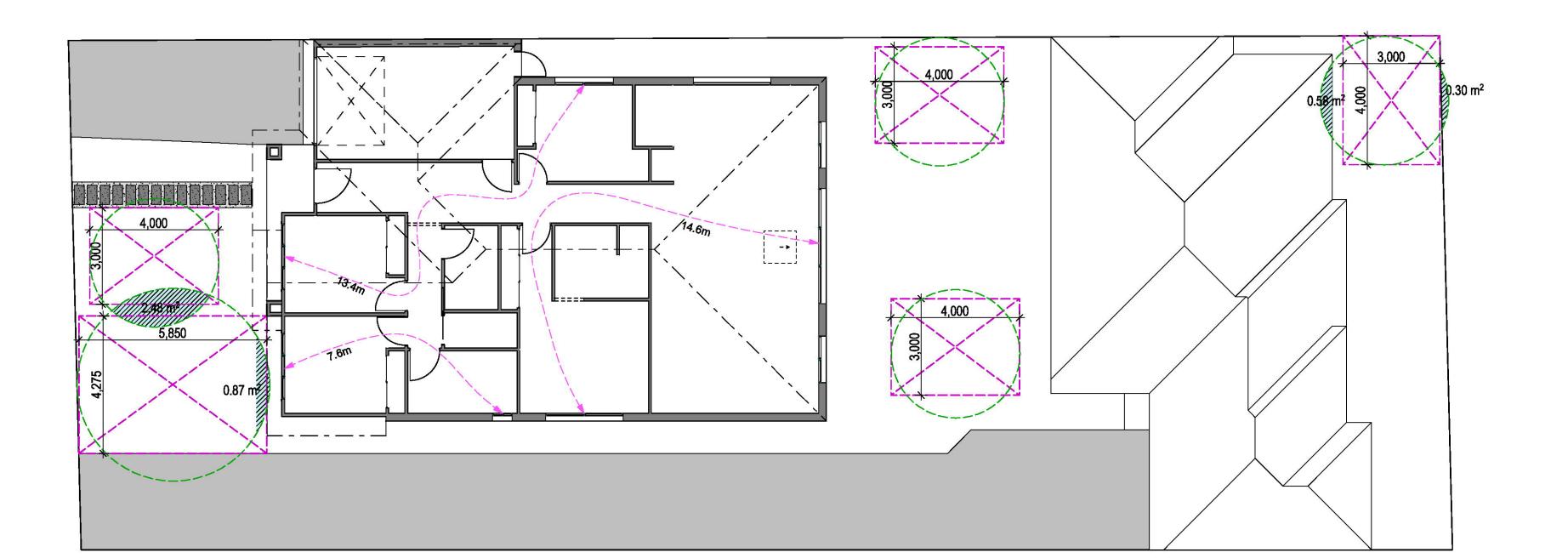
REDIRECT YOUR DOWNPIPE INTO THE RAINGARDEN USING PIPE BENDS WHERE REQUIRED. IF POSSIBLE, USE TWO 45 DEGREE BENDS CONNECTED TOGETHER AS THIS WILL PROVIDE A MUCH GENTLER AND MORE EVEN FLOW OF WATER, REDUCING THE RISK OF EROSION AND PREVENT BLOCKAGES WITHIN THE DOWNPIPE. A 90 DEGREE ELBOW PIPE WILL DO AS AN

ALTERNATIVE.

SPREAD GRAVEL MULCH TO A DEPTH OF 50MM AROUND THE PLANTS. TO ALLOW THE SPREAD OF WATER GENTLY OVER THE RAINGARDEN, PLACE SOME LARGE FLAT ROCKS WHERE WATER FLOWS FROM THE DOWNPIPE. PLACE SMALLER ROCKS IN BETWEEN THE LARGE ROCKS TO FILL THE GAPS AND HELP PREVENT EROSION. ALTERNATIVELY A

REMOVE THE TEMPORARY END CAP FROM OVERFLOW PIPE AND REPLACE WITH A 90MM PVC FINISHING COLLAR AND DOMED PIPE GRATE. WATER THE PLANTS IN -

DATE RECEIVED 28/10/2025



THE RAINWATER FROM THE ROOF AREA OF 54.95M2 IS TO BE

BREEZE PATH B3-10

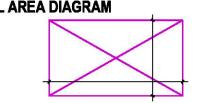
DENOTES DIRECTION OF CROSS VENTILATION.
BREEZE PATH TO BE 5m MIN 18m MAX.

TREE CANOPY B2-7

E AREA:	679.36m
NOPY REQUIRED:	68m ²
NOPY COVER PROPOSED:	74.47m ²

TREE CODE No.	TREE CATAGORY	CANOPY COVER	MINIMUM SOIL PLAN DIMENSION	DEEP SOIL AREA
1	Α	28.3sqm	3.5m	25.00sqm
2	Α	12.6sqm	2.5m	12.00sqm

DEEP SOIL AREA DIAGRAM



DENOTES DEEP SOIL AREA

5			
TREE CANOPY		TREE CANOPY NOT INCLUDED IN CALCULATION	

