

Application for Planning Permit

Planning Enquiries
Phone: 03 9205 2200
Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land **i** ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 14	St. Name: NEPEAN
Suburb/Locality: BROADMEADOWS		Postcode: 3047

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A	Lot No.: 1121	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: LP058941
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:

[How to Complete the Application for Planning Permit Form](#)

PROPOSED SIGLE STORY DSWELLING TO THE REAR OF EXISTING DWELLING
📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

Cost \$300,000	⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.
If the application is for land within metropolitan Melbourne (as defined in section 3 of the <i>Planning and Environment Act 1987</i>) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.	

Existing Conditions **i**

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, etc.

EXISTING SINGLE STORY DWELLING (RESIDENTIAL)
📎 Provide a plan of the existing conditions. Photos are also helpful.

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Title Information


5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

*Please provide at least one contact phone number **

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Contact person's details *

Same as applicant (if so, go to 'contact information') ☒

Name:

Contact information

Name:

Same as applicant ☐

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.: 14

St. Name: NEPEAN

Suburb/Locality: BROADMEADOWS

State:

Postcode: 3047


Owner's Signature (Optional):

Date: 11 Dec 2025

day / month / year

Declaration

7 This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

Date: 11 Dec 2025

day / month / year

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Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?


☒ No ☐ Yes

Checklist

9 Have you:

☒ Filled in the form completely?

☒ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

☒ A full, current copy of title information for each individual parcel of land forming the subject site

☒ A plan of existing conditions.

☒ Plans showing the layout and details of the proposal

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☒ If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

☒ If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

☒ Completed the relevant Council planning permit checklist?

☒ Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08859 FOLIO 406

Security no : 124128616410H
Produced 02/10/2025 01:53 PM

LAND DESCRIPTION

Lot 1121 on Plan of Subdivision 058941.
PARENT TITLE Volume 08792 Folio 629
Created by instrument A357127 11/12/1970

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor



ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AZ620362S 22/09/2025
AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP058941 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ616063C (E)	NOMINATION OF ECT TO LC	Completed	22/09/2025
AZ620361U (E)	TRANSFER	Registered	22/09/2025
AZ620362S (E)	MORTGAGE	Registered	22/09/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 14 NEPEAN STREET BROADMEADOWS VIC 3047

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 22/09/2025

DOCUMENT END

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Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	LP058941
Number of Pages (excluding this cover sheet)	1
Document Assembled	02/10/2025 13:53

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BROADMEADOWS ESTATE

PLAN OF SUBDIVISION

OF PART OF CROWN PORTION 6

PARISH OF WILL WILL ROOK

COUNTY OF BOURKE

VOL.8792 FOL.629

Measurements are in Feet & Inches

Conversion Factor

FEET X 0.3048 = METRES

LP58941

EDITION 1

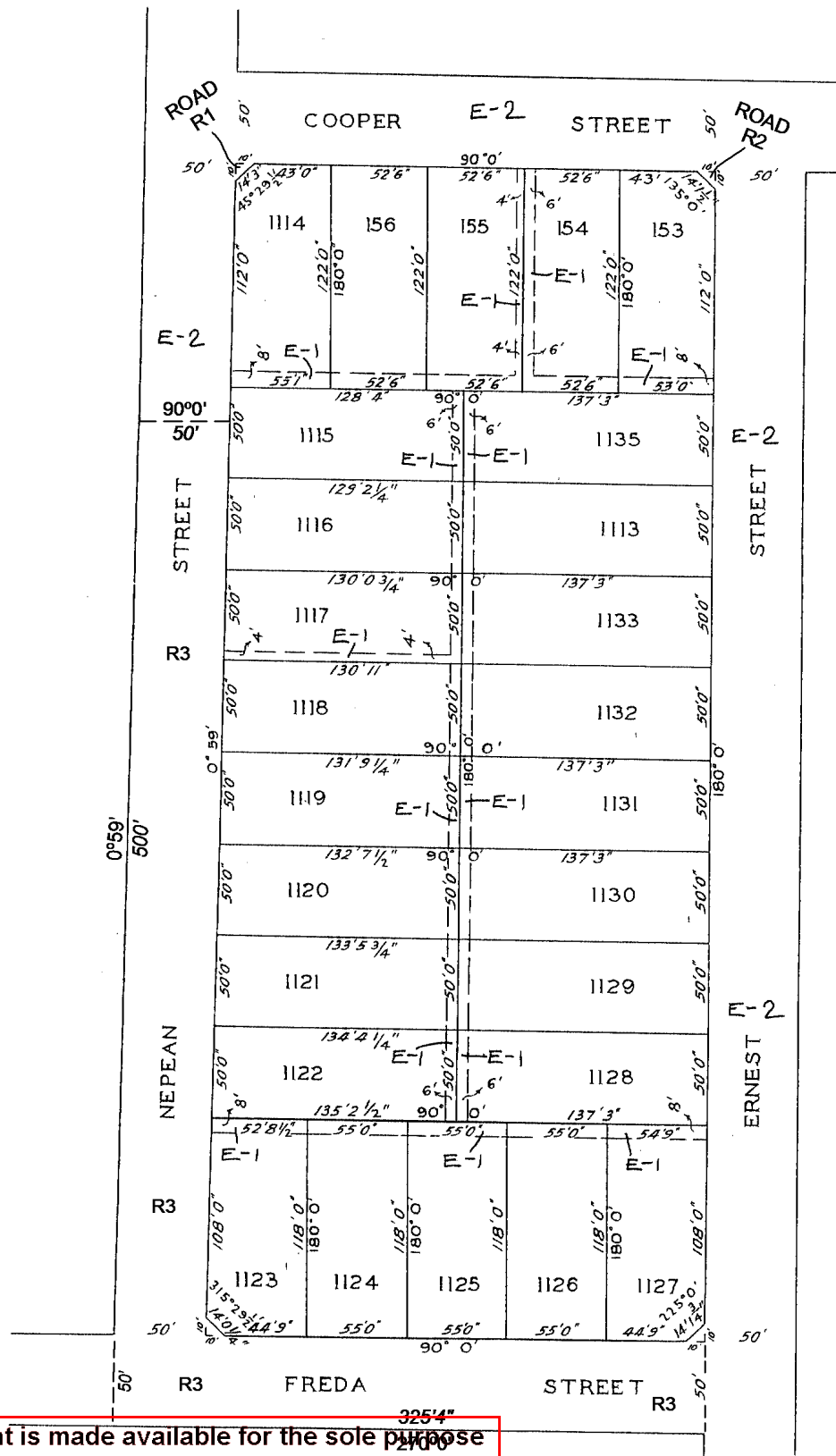
APPROVED 11/3/70

COLOUR CONVERSION

E-1 = BLUE

E-2, R1, R2 & R3 = BROWN

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.



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Environment Act 1987
other purpose.
be to scale.



PLANNING REPORT ASSESSMENT

14 Nepean Street, Broadmeadows
3047

Proposed development of single
storey dwelling at the rear of the
existing.

Municipality: Hume City Council

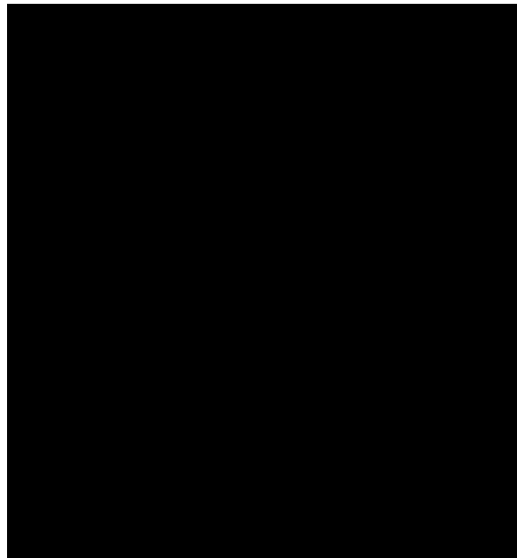
Planning Application

Number: TBC

Applicant: [REDACTED]

Dated: 5 November 2024

Written by: R.D



CLAUSE 55 WRITTEN STATEMENT

Clause 55.01 includes the following application requirement:

A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.

If any applicable aspect of a standard is not met, then the development is not deemed to comply with the standard.

VCAT objector appeal rights:

An application is exempt from the review rights of section 82(1) of the Act if all the applicable standards under Clauses 55.02, 55.04-1, 55.04-2, 55.04-3, 55.04-4 and 55.05-2 are met.

Mandatory requirements of the zone (NRZ and GRZ)

Requirement Check as applicable	Is this requirement met	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
Building height			
<input type="checkbox"/> NRZ: 9 metres / 2 storeys <input checked="" type="checkbox"/> GRZ: 11 metres / 3 storeys <input type="checkbox"/> N/A not in NRZ or GRZ.	<input checked="" type="checkbox"/> Yes Maximum height is 4.8m	P04 (Refer West elevation)	No
Garden area			
<input type="checkbox"/> <400 square metres 0% <input type="checkbox"/> 400 – 500: 25% <input checked="" type="checkbox"/> 500 – 650: 30% <input type="checkbox"/> 650+: 35% <input type="checkbox"/> N/A not in NRZ or GRZ.	<input checked="" type="checkbox"/> Yes 30.0%	P04	No

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55.02 Neighbourhood charater

Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
B2-1 Street setback				
<p>Walls of buildings are set back from streets:</p> <p><input type="checkbox"/> At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or</p> <p><input type="checkbox"/> If no distance is specified in a schedule to the zone, the distance specified in Table B2-1.</p> <p>Table B2-1</p> <p><input type="checkbox"/> There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner. Minimum front setback The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.</p> <p><input type="checkbox"/> There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner. Minimum front setback <input type="checkbox"/> The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or <input type="checkbox"/> 6 metres, whichever is the lesser.</p> <p><input type="checkbox"/> There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner. Minimum front setback <input type="checkbox"/> 6 metres for streets in a Transport Zone 2 <input type="checkbox"/> 4 metres for other streets.</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Not applicable</p>			Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> The site is on a corner. Minimum front setback <input type="checkbox"/> If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street existing building on the abutting allotment facing the street or <input type="checkbox"/> 6 metres, whichever is the lesser. <input type="checkbox"/> If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 <input type="checkbox"/> 4 metres for other streets. Minimum setback from side street <input type="checkbox"/> Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or <input type="checkbox"/> 3 metres, whichever is the lesser. <input type="checkbox"/> Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or <input type="checkbox"/> 2 metres, whichever is the lesser. <input type="checkbox"/> Porches, pergolas and verandahs that are less than 3.6 metres high and eaves encroach not more than 2.5 metres into the setbacks of this standard.				
B2-2 Building height				
<input checked="" type="checkbox"/> The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. <input type="checkbox"/> If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Maximum height is 4.8m	P04 (Refer West elevation)	Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.				
B2-3 Side and rear setbacks				
<input checked="" type="checkbox"/> A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2. Standard B2-3 is met if the building is setback in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions: <input type="checkbox"/> B2-3.1: The building is setback at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <input type="checkbox"/> B2-3.2: If the boundary is not to the south of the building, the building is setback at least 3 metres up to a height not exceeding 11 metres and at least 4.5 metres for a height over 11 metres. <input type="checkbox"/> If the boundary is to the south of the building, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. <input type="checkbox"/> Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services encroach not more than 0.5 metres into the side and rear setbacks. <input type="checkbox"/> Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports encroach into the side and rear setbacks.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The proposed development is setback from side boundaries in accordance with the Standard.	P03	Yes, if standard not met
B2-4 Walls on boundaries				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot does not abut the boundary for a length that exceeds the greater of the following distances:</p> <p><input checked="" type="checkbox"/> 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or</p> <p><input type="checkbox"/> The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot.</p> <p><input type="checkbox"/> A new wall or carport fully abuts a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p><input type="checkbox"/> A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p><input type="checkbox"/> The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary does not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>Proposed D2 has a wall along the North and South boundary.</p> <p>Total wall length on north boundary is 8.865m. (Avg. wall height 2.76m)</p> <p>Total wall length on south boundary is 8.13m. (Avg. wall height 2.89m and 2.93m)</p>	P03 and p04	Yes, if standard not met
B2-5 Site coverage				
<p><input type="checkbox"/> The site area covered by buildings does not exceed: The maximum site coverage specified in a schedule to the zone; or If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5.</p> <p><input type="checkbox"/> NRZ 60%</p> <p><input checked="" type="checkbox"/> GRZ 65%</p> <p><input type="checkbox"/> RGZ 70%</p> <p><input type="checkbox"/> HCTZ 70%</p> <p><input type="checkbox"/> MUZ 70%</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	45.0%	P04	Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.				
B2-6 Access				
<p>The width of accessways or car spaces (other than to a rear lane) does not exceed:</p> <p><input checked="" type="checkbox"/> 33 per cent of the street frontage; or</p> <p><input type="checkbox"/> 40 per cent of the street frontage if the width of the street frontage is less than 20 metres.</p> <p><input checked="" type="checkbox"/> The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.</p> <p><input type="checkbox"/> The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent or</p> <p><input type="checkbox"/> No existing tree in a road proposed to be retained.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.		Yes, if standard not met
B2-7 Tree canopy				
<p>Provide a minimum canopy cover as specified in Table B2-7.1.</p> <p><input checked="" type="checkbox"/> Site area 1,000sqm or less 10%.</p> <p><input type="checkbox"/> Site area more than 1,000sqm 20%.</p> <p>Existing trees to be retained meet all of the following:</p> <p><input type="checkbox"/> Has a height of at least 5 metres,</p> <p><input type="checkbox"/> Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,</p> <p><input type="checkbox"/> Has a trunk that is located at least 4 metres from proposed buildings.</p> <p><input checked="" type="checkbox"/> No existing trees to be retained.</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site canopy cover is proposed to be 11.3% and a tree is proposed to be provided in the front and rear back of the development. The deep soil planting areas are provided in accordance with Table B2-7.2 and the vegetation proposed in the landscape plan is consistent	P06	Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input checked="" type="checkbox"/> The minimum canopy cover is met using any combination of trees specified in Table B2-7.2. Existing trees that are retained can be used in calculating canopy cover. <input checked="" type="checkbox"/> Provide at least one new or retained tree in the front setback and the rear setback. Trees are located in either: <input checked="" type="checkbox"/> An area of deep soil as specified in Table B2-7.2; or <input type="checkbox"/> A planter as specified in Table B2-7.2. <input type="checkbox"/> Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.				
B2-8 Front fences				
A front fence within 3 metres of a street is: <input type="checkbox"/> The maximum height specified in a schedule to the zone, or <input type="checkbox"/> If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8. <input type="checkbox"/> Streets in a Transport Zone 2 - 2 metres <input type="checkbox"/> Other streets - 1.5 metres	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Existing front fence is retained	P03	Yes, if standard not met

55.03 Liveability

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
B3-1 Dwelling diversity				
Developments include at least: <input type="checkbox"/> One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings. <input type="checkbox"/> One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings. <input type="checkbox"/> One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A less than 10 dwellings proposed			No
B3-2 Parking location				
Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least: <input type="checkbox"/> 1.5 metres; or <input type="checkbox"/> If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or <input type="checkbox"/> 1 metre where window sills are at least 1.5 metres above ground level. <input checked="" type="checkbox"/> This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		P03	No
B3-3 Street integration				
Where a development fronts a street, a vehicle accessway or abuts public open space: <input checked="" type="checkbox"/> Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space. <input type="checkbox"/> The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. <input type="checkbox"/> Screens or fences are to provide no more than 25 per cent transparency. <input checked="" type="checkbox"/> Lighting is provided to all external accessways and paths.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	All dwellings provide passive surveillance from the ground level bedrooms Lighting is provided to all external accessways and paths	P03	No

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input checked="" type="checkbox"/> Mailboxes are provided for each dwelling and can be communally located.				
B3-4 Street entry				
<input checked="" type="checkbox"/> Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings Each dwelling and each residential building has a ground level entry door that: <input checked="" type="checkbox"/> Has a direct line of sight from a street, accessway or shared walkway. <input checked="" type="checkbox"/> Is not accessed through a garage. <input checked="" type="checkbox"/> Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door. <input type="checkbox"/> Apartment development and residential building with a shared entry An apartment development and each residential building has: <input type="checkbox"/> A ground level entry door, gate or walkway with a direct line of sight from a street, accessway or shared walkway. <input type="checkbox"/> An external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door to the building. <input type="checkbox"/> Shared corridors and common areas have at least one source of natural light and natural ventilation.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	D2 has a direct line of sight from the driveway Porch areas comply.		No
B3-5 Private open space				
<input checked="" type="checkbox"/> A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone. If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of: <input checked="" type="checkbox"/> An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or <input type="checkbox"/> A balcony with at least the area and dimensions specified in Table B3-5; or	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Each dwelling is provided with a SPOS area in excess of 25 square metres that satisfies the minimum width requirements and is accessed directly from a living room.	P03	No

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p><input type="checkbox"/> An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or</p> <p><input type="checkbox"/> An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width.</p> <p>If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone;</p> <p><input type="checkbox"/> The area and dimensions specified in the schedule must be 25 square metres or less; and</p> <p><input type="checkbox"/> The area and dimensions specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard.</p> <p><input type="checkbox"/> If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres.</p> <p><input type="checkbox"/> Where ground level private open space is provided an area for clothes drying is provided.</p> <p>Table B3-5 Private open space for a balcony</p> <p>Orientation of dwelling</p> <p><input type="checkbox"/> North (between north 20 All 8 square metres 1.7 metres degrees west to north 30degrees east)</p> <p><input type="checkbox"/> Minimum area 8 square metres</p> <p><input type="checkbox"/> Minimum dimension 1.7 metres</p> <p>Orientation of dwelling</p> <p><input type="checkbox"/> South (between south degrees west to south 20 degrees east)</p> <p><input type="checkbox"/> Minimum area 8 square metres</p> <p><input type="checkbox"/> Minimum dimension 1.2 metres</p>				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p>Orientation of dwelling</p> <p><input type="checkbox"/> All other orientations</p> <p><input type="checkbox"/> Studio or 1 bedroom</p> <p><input type="checkbox"/> Minimum area 8 square metres</p> <p><input type="checkbox"/> Minimum dimension 1.8 metres</p> <p><input type="checkbox"/> 2 bedroom dwelling</p> <p><input type="checkbox"/> Minimum area 8 square metres</p> <p><input type="checkbox"/> Minimum dimension 2 metres</p>				
B3-6 Solar access to open space				
<p><input type="checkbox"/> The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>	N/A to proposed dwelling 2	P03	No
B3-7 Functional layout				
<p>Bedrooms:</p> <p><input checked="" type="checkbox"/> Meet the minimum internal room dimensions specified in Table B3-7.1; and Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.</p> <p>Table B3-7.1 Bedroom dimensions</p> <p>Main bedroom</p> <p><input checked="" type="checkbox"/> Minimum width 3 metres</p> <p><input checked="" type="checkbox"/> Minimum depth 3.4 metres</p> <p>All other bedrooms</p> <p><input checked="" type="checkbox"/> Minimum width 3 metres</p> <p><input checked="" type="checkbox"/> Minimum depth 3 metres</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>		P03	No

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input checked="" type="checkbox"/> Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2. Table B3-7.2 Living area dimensions <input type="checkbox"/> Studio and 1 bedroom dwelling <input type="checkbox"/> Minimum width 10 metres <input type="checkbox"/> Minimum area 10 square metres 2 or more bedroom dwelling <input checked="" type="checkbox"/> Minimum width 3.6 metres <input checked="" type="checkbox"/> Minimum area 12 square metres				
B3-8 Room depth				
<input checked="" type="checkbox"/> The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room. The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met: <input checked="" type="checkbox"/> The room combines the living area, dining area and kitchen; and The kitchen is located furthest from the window; and <input checked="" type="checkbox"/> The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and <input checked="" type="checkbox"/> An overhang extends no more than 2m beyond the window of the single aspect habitable room. In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		P03	No
B3-9 Daylight to new windows				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p>Dwelling (other than a dwelling in or forming part of an apartment development)</p> <p><input type="checkbox"/> A window in an external wall of the building is provided to all habitable rooms.</p> <p>Habitable rooms in a dwelling have a window that faces:</p> <p><input checked="" type="checkbox"/> An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or</p> <p><input type="checkbox"/> A verandah provided it is open for at least one third of its perimeter; or</p> <p><input type="checkbox"/> A carport provided it has two or more open sides and is open for at least one third of its perimeter.</p> <p>Dwelling in or forming part of an apartment development</p> <p><input type="checkbox"/> A window in an external wall of the building is provided to all habitable rooms.</p> <p>Where daylight to a bedroom is provided from a smaller secondary area within the bedroom, the secondary area is to have:</p> <p><input checked="" type="checkbox"/> A minimum width of 1.2 metres.</p> <p><input checked="" type="checkbox"/> A maximum depth of 1.5 times the width, measured from the external surface of the window.</p> <p><input checked="" type="checkbox"/> A window clear to the sky.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>		P03	No
B3-10 Natural ventilation				
<p>Dwelling (other than a dwelling in or forming part of an apartment development)</p> <p><input checked="" type="checkbox"/> Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:</p> <p><input checked="" type="checkbox"/> A maximum breeze path through the dwelling of 18 metres.</p> <p><input checked="" type="checkbox"/> A minimum breeze path through the dwelling of 5 metres.</p> <p><input checked="" type="checkbox"/> Ventilation openings with approximately the same size.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>	The ventilation flow paths are compliant and the ventilation openings on the alternate faces of the building are approximately the same size	P03	No

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
Dwelling in or forming part of an apartment development At least 40 per cent of dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide: <ul style="list-style-type: none"> <input type="checkbox"/> A maximum breeze path through the dwelling of 18 metres. <input type="checkbox"/> A minimum breeze path through the dwelling of 5 metres. <input type="checkbox"/> Ventilation openings with approximately the same size. The breeze path is measured between the ventilation openings on different orientations of the dwelling.				
B3-11 Storage				
Dwelling (other than a dwelling in or forming part of an apartment development) <input checked="" type="checkbox"/> Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	proposed dwelling 2 has access to external 6m ³ shed		No
Dwelling in or forming part of an apartment development <input type="checkbox"/> Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.				
Table B3-11 Storage Studio <ul style="list-style-type: none"> <input type="checkbox"/> Total minimum storage volume 8 cubic metres <input type="checkbox"/> Minimum storage volume within the dwelling 5 cubic metres 1 bedroom dwelling <ul style="list-style-type: none"> <input type="checkbox"/> Total minimum storage volume 10 cubic metres <input type="checkbox"/> Minimum storage volume within the dwelling 6 cubic metres 2 bedroom dwelling <ul style="list-style-type: none"> <input type="checkbox"/> Total minimum storage volume 14 cubic metres 				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> Minimum storage volume within the dwelling 9 cubic metres 3 or more bedroom dwelling <input checked="" type="checkbox"/> Total minimum storage volume 18 cubic metres <input checked="" type="checkbox"/> Minimum storage volume within the dwelling 12 cubic metres				
B3-12 Accessibility for apartment developments				
At least 50 per cent of dwellings in or forming part of an apartment development have: <input type="checkbox"/> A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom. <input type="checkbox"/> A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area. <input type="checkbox"/> A main bedroom with access to an adaptable bathroom. <input type="checkbox"/> At least one adaptable bathroom that meets all of the requirements of either Design A <input type="checkbox"/> or Design B specified in Table B3-12.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A not an apartment development			No

55.04 External amenity

Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
B4-1 Daylight to existing windows				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input checked="" type="checkbox"/> Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. <input type="checkbox"/> Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	The development provides appropriate setbacks and light courts to neighbouring habitable room windows.	P03	Yes, if standard not met
B4-2 Existing north facing windows				
Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot: <input type="checkbox"/> A new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window. <input type="checkbox"/> For new buildings that meet the Standard B2-3.2 setback, the building is setback at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window. For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A no neighbouring existing north facing habitable room windows			Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
B4-3 Overshadowing open space				
<p>The area of secluded private open space that is not overshadowed by the new development is greater than:</p> <p><input checked="" type="checkbox"/> 50 per cent, or</p> <p><input type="checkbox"/> 25 square metres with a minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September.</p> <p><input type="checkbox"/> If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>	Shadow diagrams submitted with the application demonstrate that overshadowing of abutting properties is within acceptable parameters under the standard		Yes, if standard not met
B4-4 Overlooking				
<p>In Clause 55.04-4 a habitable room does not include a bedroom.</p> <p><input checked="" type="checkbox"/> A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45-degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.</p> <p><input type="checkbox"/> A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:</p> <p><input type="checkbox"/> Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or</p> <p><input type="checkbox"/> Has sill heights of at least 1.7 metres above floor level; or</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>			Yes, if standard not met

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or <input type="checkbox"/> Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or <input type="checkbox"/> Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. <input type="checkbox"/> Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. Screens used to obscure a view are: <input type="checkbox"/> Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. <input type="checkbox"/> Permanent, fixed and durable. <input type="checkbox"/> Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.				
B4-5 Internal views				
In Clause 55.04-5 a habitable room does not include a bedroom. Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling: <input type="checkbox"/> Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or <input type="checkbox"/> Has a sill height of at least 1.7 metres above floor level; or	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	There are no internal views available in the development		No

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or <input type="checkbox"/> Has permanently fixed external screens to at least 1.7 metres above floor level; or <input type="checkbox"/> Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. Direct views are measured at a height of 1.7 metres above floor level and within: A 45 degree horizontal angle from the edge of the new window or balcony. A 45 degree angle in the downward direction. Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.				

55.05 Sustainability

Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
B5-1 Permeability and stormwater management				No
<input checked="" type="checkbox"/> The site area covered by the pervious surfaces is at least 20 percent of the site. The development includes a stormwater management system designed to:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site permeability of 29.8% is proposed. WSUD are incorporated within the design, including water tanks. A STORM Rating of 100 is achieved A Sustainable Design Assessment	P03 and P05	

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p><input checked="" type="checkbox"/> Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of:</p> <p><input checked="" type="checkbox"/> Suspended solids 80% reduction in mean annual load.</p> <p><input checked="" type="checkbox"/> Total phosphorus and Total Nitrogen 45% reduction in mean annual load.</p> <p><input checked="" type="checkbox"/> Litter 70% reduction of mean annual load.</p> <p>A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.</p> <p><input checked="" type="checkbox"/> Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.</p>				
B5-2 Overshadowing domestic solar energy systems				
<p>Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>This standard applies to an existing building in a General Residential Zone or Neighbourhood Residential Zone.</p> <p>In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> N/A not in NRZ or GRZ.</p>	<p>The proposed Dwelling 2 is setback in accordance with B5-2, causing no overshadowing to the existing solar energy systems of Existing Dwelling 1.</p> <p>Maximum building height of proposed dwelling 2 is 4.8m, and is set back from existing Dwelling 1 at</p>		Yes, if standard not met
B5-3 Rooftop solar energy generation area				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p>In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.</p> <p><input checked="" type="checkbox"/> An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:</p> <p><input checked="" type="checkbox"/> Has a minimum dimension of 1.7 metres.</p> <p><input checked="" type="checkbox"/> Has a minimum area in accordance with Table B5-3.</p> <p><input checked="" type="checkbox"/> Is oriented to the north, west or east.</p> <p><input checked="" type="checkbox"/> Is positioned on the top two thirds of a pitched roof.</p> <p>Can be a contiguous area or multiple smaller areas.</p> <p><input checked="" type="checkbox"/> Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.</p> <p>Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.</p> <p>Table B5-3 Minimum rooftop solar energy generation area</p> <p><input type="checkbox"/> 1 bedroom dwelling Minimum roof area 15 square metres</p> <p><input checked="" type="checkbox"/> 2 or bedroom dwelling Minimum roof area 26 square metres</p> <p><input checked="" type="checkbox"/> 4 or more bedroom dwelling Minimum roof area 34 square metres</p> <p>This standard does not apply to apartments and residential buildings.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> <p><input type="checkbox"/> N/A</p> <p>apartments or residential building</p>			No
B5-4 Solar protection to new north-facing windows				
<p><input checked="" type="checkbox"/> North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</p>	<p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p>	All north facing habitable windows have been provided with shadowing devices that meet the standard. Notation on plans confirms this.	P03	No
B5-5 Waste and recycling				

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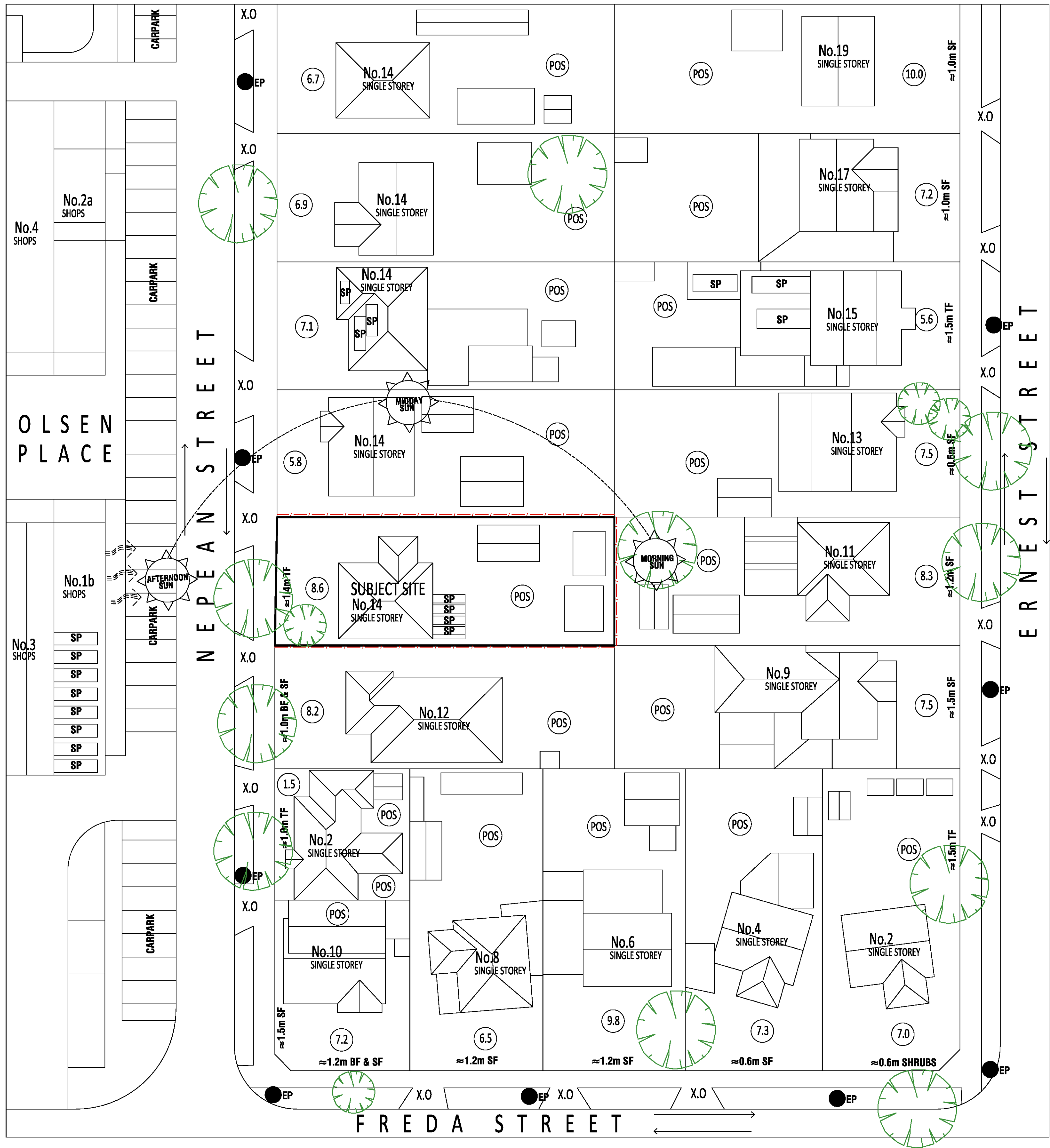
Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p>Dwelling (other than a dwelling in or forming part of an apartment development)</p> <p><input type="checkbox"/> The development includes an individual bin storage area for each dwelling, or <input type="checkbox"/> A shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.</p> <p>Table B5-5.1 Bin storage</p> <p><input checked="" type="checkbox"/> Individual bin storage area for a dwelling <input checked="" type="checkbox"/> Minimum area 1.8 square metres <input checked="" type="checkbox"/> Minimum depth 0.8 metre <input checked="" type="checkbox"/> Minimum height 1.8 metres.</p> <p>Shared bin storage area for 3 dwellings or less</p> <p><input type="checkbox"/> Minimum area 5.4 square metres <input type="checkbox"/> Minimum depth 0.8 metre <input type="checkbox"/> Minimum height 1.8 metres.</p> <p>Shared bin storage area for 4 or more dwellings</p> <p><input type="checkbox"/> Minimum area 1 square metre per dwelling plus 4 square metres <input type="checkbox"/> Minimum depth 0.8 metre <input type="checkbox"/> Minimum height 1.8 metres.</p> <p>If the development includes a shared bin storage area: The shared bin storage area:</p> <p><input type="checkbox"/> Is located within 40 metres of a kerbside collection point. <input type="checkbox"/> Includes a tap for bin washing. <input type="checkbox"/> There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area.</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>All dwellings have individual bins and bin storage areas that meet the Standard</p>	<p>Refer p03</p>	<p>No</p>

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<p> <input type="checkbox"/> Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction. <input type="checkbox"/> Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres. </p> <p> Dwelling in or forming part of an apartment development <input type="checkbox"/> The development includes a shared bin storage area for use by each dwelling of at least the applicable area, depth and height specified in Table B5-5.2. </p> <p> 15 dwellings or less <input type="checkbox"/> Minimum area 0.7 square metres per dwelling in a shared waste storage area <input type="checkbox"/> Minimum depth 0.8 metre <input type="checkbox"/> Minimum height 2.7 metres. </p> <p> 16 to 55 dwellings <input type="checkbox"/> Minimum area 0.5 square metres per 1 dwelling, plus 5 square metres in a shared waste storage area <input type="checkbox"/> Minimum depth 1 metre <input type="checkbox"/> Minimum height 2.7 metres. </p> <p> 56 or more dwellings <input type="checkbox"/> Minimum area 0.5 square metres per 1 dwelling in a shared waste storage area <input type="checkbox"/> Minimum depth 1 metre <input type="checkbox"/> Minimum height 2.7 metres. </p> <p> Enclosed bin storage areas are ventilated by: <input type="checkbox"/> Natural ventilation openings to the external air with an area of at least 5 per cent of the area for bin storage area; or <input type="checkbox"/> A mechanical exhaust ventilation system. </p>				

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Standard Check as applicable	Is this standard fully met?	If the standard is not met, explanation of how the development meets the objective having regard to the decision guidelines	Clearly shown on plan no. (Reference drawing number)	Objector right of appeal
<input type="checkbox"/> A tap and drain is provided to wash bins. <input type="checkbox"/> A continuous path of travel is provided from each dwelling to bin storage areas. <input type="checkbox"/> Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.				
B5-6 Noise impacts				
<input checked="" type="checkbox"/> Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	All air conditioning condenser units are located away from bedroom windows		No
B5-7 Energy efficiency for apartments				
Dwellings in or forming part of an apartment development located in a climate zone identified in Table B5-7 do not exceed the maximum NatHERS annual cooling load. Table B5-7 Climate zone and cooling load <input type="checkbox"/> Climate zone 21 Melbourne NatHERS maximum cooling load 30 MJ/M2 per annum <input type="checkbox"/> Climate zone 60 Tullamarine NatHERS maximum cooling load 22 MJ/M2 per annum	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A not an apartment development			No

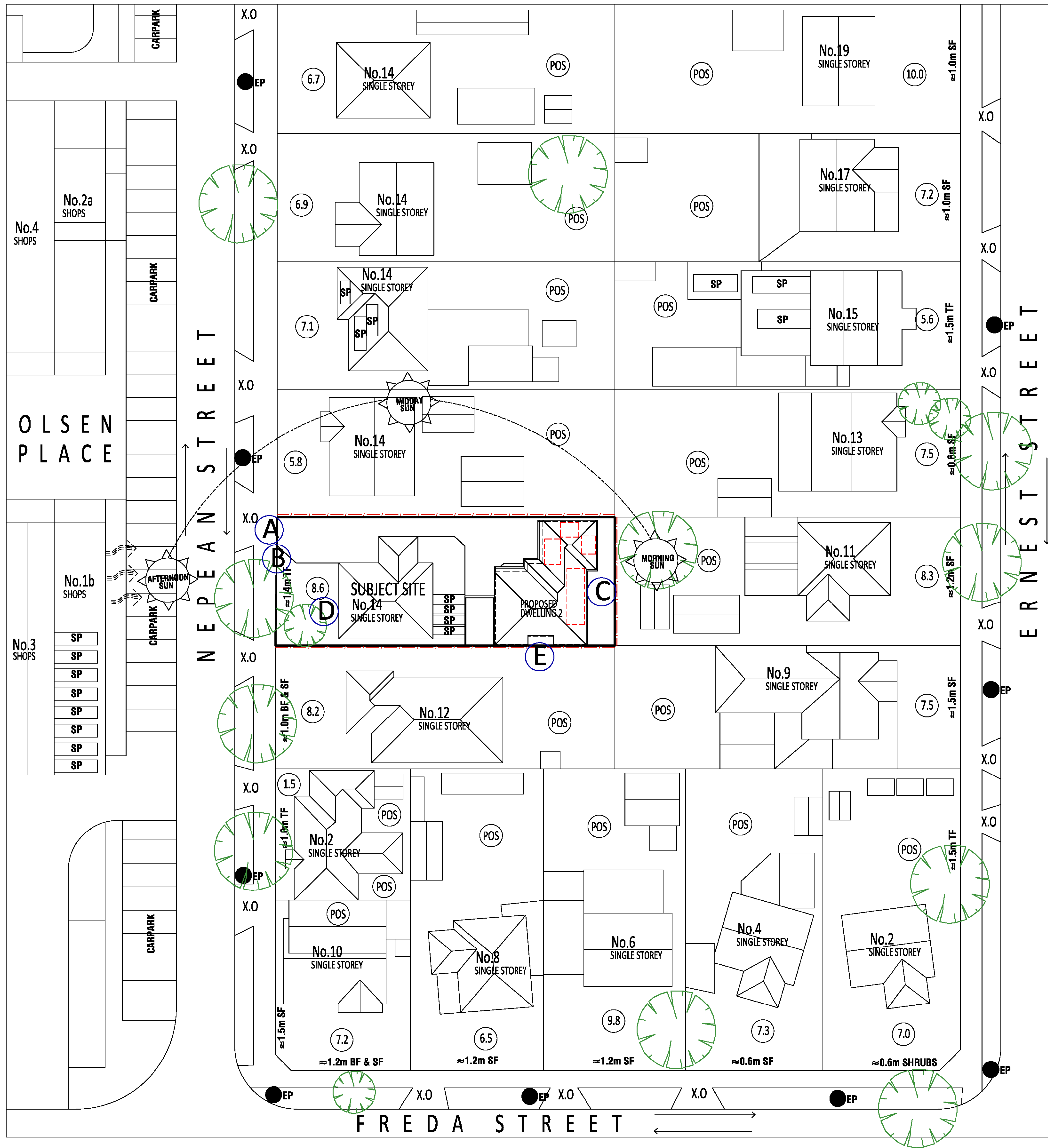


LEGEND

- POS PRIVATE OPEN SPACE
- (X.X) FRONT SETBACK
- X.O CROSS OVER
- EP POWER POLE
- BAL BALCONY POS
- BF BRICK FENCE
- CF COLORBOND FENCE
- TF TIMBER FENCE
- SF STEEL FENCE
- SP SOLAR PANELS
- RF RENDERED FENCE
- WF WIRE FENCE
- ↗ PREVAILING WIND DIRECTION
- ↔ STREET DIRECTION
- - - SENSITIVE INTERFACE

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KEY	DESCRIPTION	DATE	BY
REV. A	ISSUE FOR TOWN PLANNING SUBMISSION		AD
DRAWINGS: NEIGHBORHOOD AND SITE DESCRIPTION			
PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING			
ADDRESS: 14 NEPEAN STREET, BROADMEADOWS			
SCALE:	DATE:	DEC 2024	DRAWN: AD
PROJECT NO:		SERIES	
DRAWING NO:		P01	



DESIGN RESPONSE

- A** EXISTING CROSSOVER TO BE RETAINED TO SERVE UNIT 1 AND 2
- B** NEW MAILBOX
- C** OPEN SPACES TO UNITS ARE ORIENTED TOWARDS NORTH PROVIDING FUTURE RESIDENCES WITH EXCELLENT SOLAR ACCESS AND NORTH LIGHT. OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR ALL DWELLINGS ARE LOCATED OFF LIVING AREAS.
- D** LARGE LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- E** ANY PROPOSED WALLS TO BE BUILT TO THE BOUNDARY ARE LOCATED AWAY FROM EXISTING HABITABLE ROOM WINDOWS AND OPEN SPACES.

LEGEND

- (POS) PRIVATE OPEN SPACE
- (X.X) FRONT SETBACK
- X.O CROSS OVER
- EP POWER POLE
- BAL BALCONY POS
- BF BRICK FENCE
- CF COLORBOND FENCE
- TF TIMBER FENCE
- SF STEEL FENCE
- SP SOLAR PANELS
- RF RENDERED FENCE
- WF WIRE FENCE
- ↗ PREVAILING WIND DIRECTION
- ↔ STREET DIRECTION
- SENSITIVE INTERFACE

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KEY	DESCRIPTION	DATE	BY
REV A	ISSUE FOR TOWN PLANNING SUBMISSION		AD
DRAWINGS: DESIGN RESPONSE			
PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING			
ADDRESS: 14 NEPEAN STREET, BROADMEADOWS			
SCALE:	DATE:	DEC 2024	DRAWN: AD
PROJECT NO:		SERIES	
DRAWING NO:		P02	

NOTE:
PROVISIONS OF PEDESTRIAN VISIBILITY SPLAYS
MEASURING 2.0M ACROSS AND 2.5M DEEP INTO THE
SITE TO THE PROPOSED CROSSOVER THE STREET WHERE
WITHIN THE SITE ANY STRUCTURE OR VEGETATION
WITHIN THESE SPLAYS MUST NOT BE MORE THAN 0.9M
IN HEIGHT.

DRIVEWAY CATCHMENT AREA OF
122.0 m² TO BE HARVESTED INTO
A MIN. 8.0m² BUFFER, WHICH IS
TO BE FULLY LINED AND HAVE
THE AGGIE DRAIN AND OVERFLOW
PLUMBED TO THE
STORMWATER SYSTEM

ROOF CATCHMENT AREA OF
39.1 m² FROM UNIT 2 TO BE
HARVESTED INTO A MIN. 1.0m²
ABOVE GROUND PLANTERBOX
TYPE RAINGARDEN, WHICH IS TO
BE FULLY LINED AND HAVE THE
AGGIE DRAIN AND OVERFLOW
PLUMBED TO THE STORMWATER
SYSTEM

THE RAINWATER FROM UNIT 2 ROOF
AREA OF 81.0 m² IS TO BE COLLECTED
AND DISCHARGED VIA A FULLY
CHARGED SYSTEM INTO A 2000L
CAPACITY WATER TANK WHICH IS TO BE
CONNECTED TO ALL TOILETS FOR
TOILET FLUSHING AND WASHING
MACHINES
ENSURE GUTTER GUARDS, FIRST FLUSH
DIVERTERS AND FILTERS TO THE WATER
TANKS ARE INSTALLED.

THE RAINWATER FROM UNIT 1
CARPORT ROOF AREA OF 21.0 m² IS TO
BE COLLECTED AND DISCHARGED VIA
A FULLY CHARGED SYSTEM INTO A
1000L CAPACITY WATER TANK WHICH IS TO
BE USED FOR IRRIGATION ONLY

NOTE:
ALL UNCOVERED PARKING
BAYS WITHIN THE SITE AREA
REQUIRED TO BE "BOX"
MARKED TO CLEARLY INDICATE
WHERE IS APPROPRIATE TO
PARK AND SUBSEQUENTLY
CONFIRM TO RESIDENTS OF
THE DEVELOPMENT THAT
PARKING IN AREAS THAT ARE
NOT LINED WILL NOT BE
PERMITTED. THIS ALSO
INCLUDES THE SECOND
PARKING BAY FOR DWELLING
ONE.

NOTE:
PROVISIONS OF PEDESTRIAN
VISIBILITY SPLAYS MEASURING
2.0M ACROSS AND 2.5M DEEP
INTO THE SITE TO THE
PROPOSED CROSSOVER TO
STREET WHERE WITHIN THE
SITE ANY STRUCTURE OR
VEGETATION WITHIN THESE
SPLAYS MUST NOT BE MORE
THAN 0.9M IN HEIGHT.

LEGEND & NOTES

AC	AIR CONDITIONING UNIT
HWS	HOT WATER SYSTEM
CF	COLORBOND FENCE
POS	PRIVATE OPEN SPACE

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UNIT 1 AREA SCHEDULE

EXISTING GROUND FLOOR AREA	129.3 m ²
CARPORT FOR DWELLING 1	21.0 m ²
TOTAL AREA	150.3 m ²
POS	130.8 m ²
SPOS WITH MIN 3.0m WIDTH	31.5 m ²

UNIT 2 AREA SCHEDULE

GROUND FLOOR AREA	96.4 m ²
GARAGE	32.2 m ²
PORCH	3.6 m ²
TOTAL AREA	129.2 m ²
POS	42.2 m ²
SPOS WITH MIN 3.0m WIDTH	77.4 m ²

AREA SCHEDULE

SITE AREA:	427.8 m ²
SITE COVERAGE:	45.0 %
SITE PERMEABILITY:	30.0 %
GARDEN AREA:	30.0 %
HARD SURFACED AREA	26.0 %

TYPE A
TYPE B

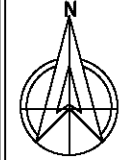
ID	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT@ MATURITY(m)	WIDTH @MATURITY(m)	POT SIZE @ INSTALL (CM)	CANOPY COVER
AL	1	ACACIA MELANOXYLON	LIGHTWOOD	10.0	5-5.9	40-MIN / 1.2m H	19.7
ELC	1	EUCALYPTUS MANNIFERA	BRITTLE GUM	12.0	8-8.9	40-MIN / 2m H	50.3

62.18 SQM - 11.3% CANOPY
COVER OF THE SITE AREA
in accordance to B2-7.2

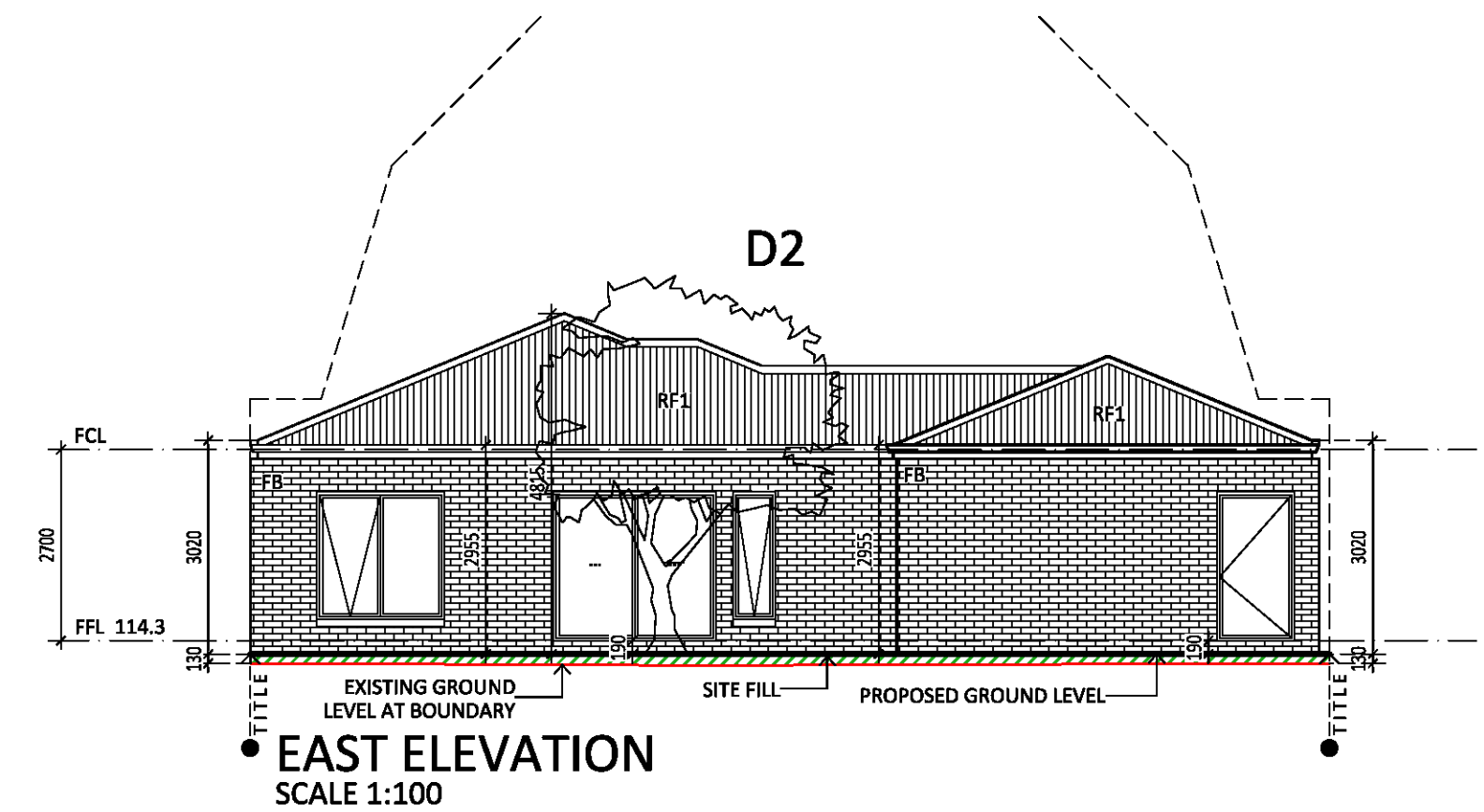
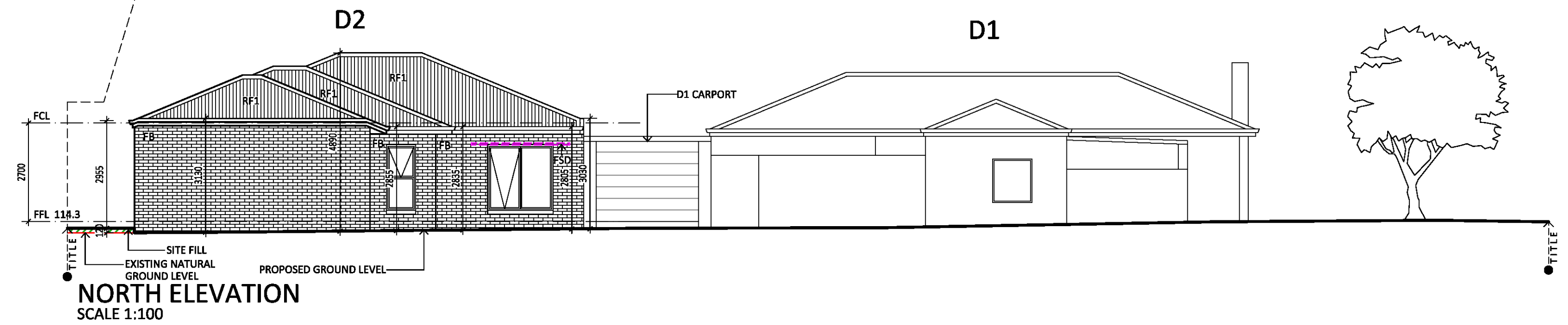
CROSS VENTILATIONS
ALL ROBES WILL HAVE A MINIMUM OF 0.8m²
ALL FIXED SHADING DEVICES (FSD)
HAVE MINIMUM HORIZONTAL DEPTH OF
0.25 TIMES THE WINDOW HEIGHT.
PLEASE REFER TO POS FOR
THE MINIMUM ROOFTOP SOLAR PANELS

REV	DESCRIPTION	DATE	BY
REV A	ISSUE FOR TOWN PLANNING SUBMISSION		AD

DRAWINGS: GROUND FLOOR PLAN	
PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING	
ADDRESS: 14 NEPEAN STREET, BROADMEADOWS	
SCALE: 1:100	DATE: DEC 2024
DRAWN: AD	PREFECT NO: 38385



DRAWING NO:
P03



25% OF H

25mm

25% OF H

75mm X 25mm SHADE BATTENS WITH 25mm SPACING BETWEEN BATTENS

25% OF H


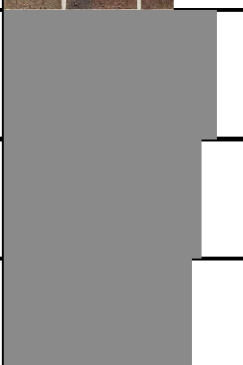
25% OF H

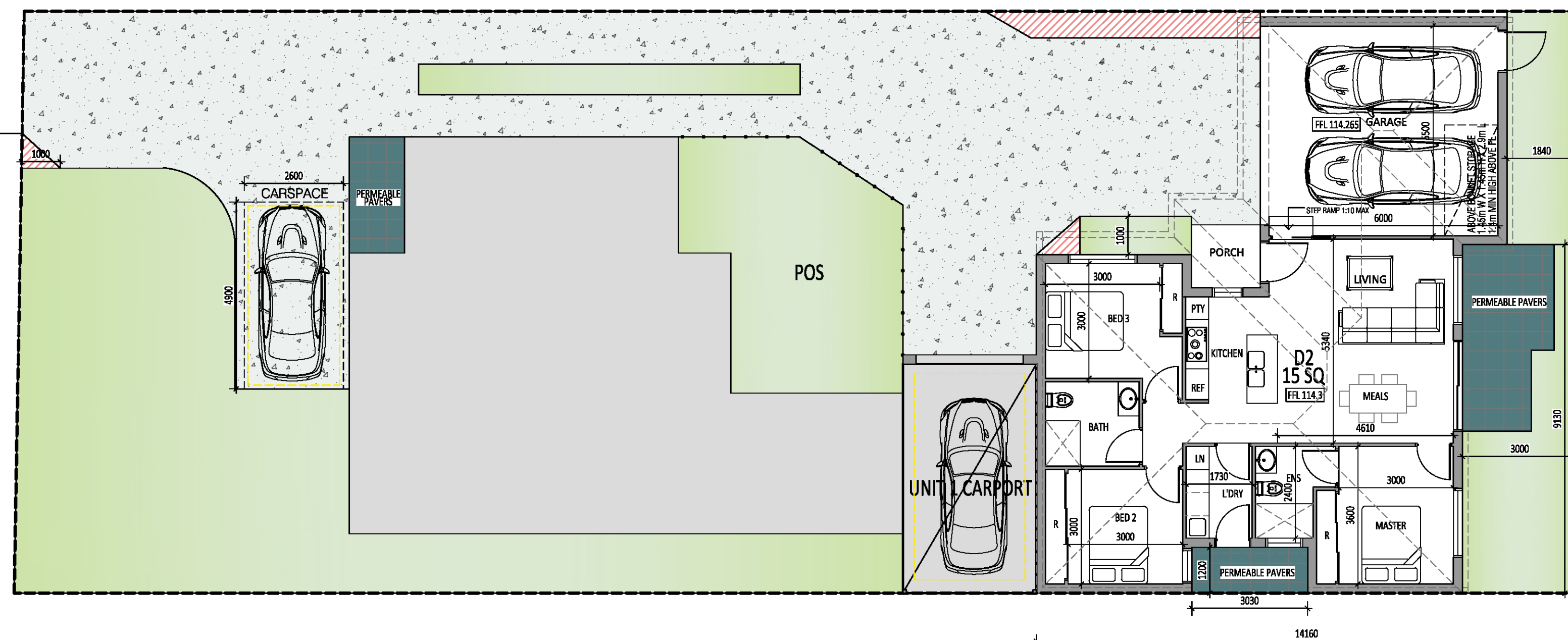
25% OF H

25% OF H

75mm X 25mm SHADE BATTENS WITH 25mm SPACING BETWEEN BATTENS

LEGEND	
FB	FACEBRICK WALL- MELBOURNE HAWTHORN OR SIMILAR
RF1	COLOURBOND ROOF - WINDSPRAY OR SIMILAR @ 22.5°
CF	1.8m H COLORBOND FENCE

FB	FACE BRICK - AUSTRAL BRICK MELBOURNE HAWTHORN OR SIMILAR	
RF1	COLOR BOND ROOF COLOR WINDSPRAY OR SIMILAR	
	FASCIA, GUTTERS FLASHING AND DOWNPIPE COLOR WINDSPRAY OR SIMILAR	
	ALUMINUM WINDOWS COLOR - WINDSPRAY	
CF	COLORBOND FENCE MONUMENT OR SIMILAR	



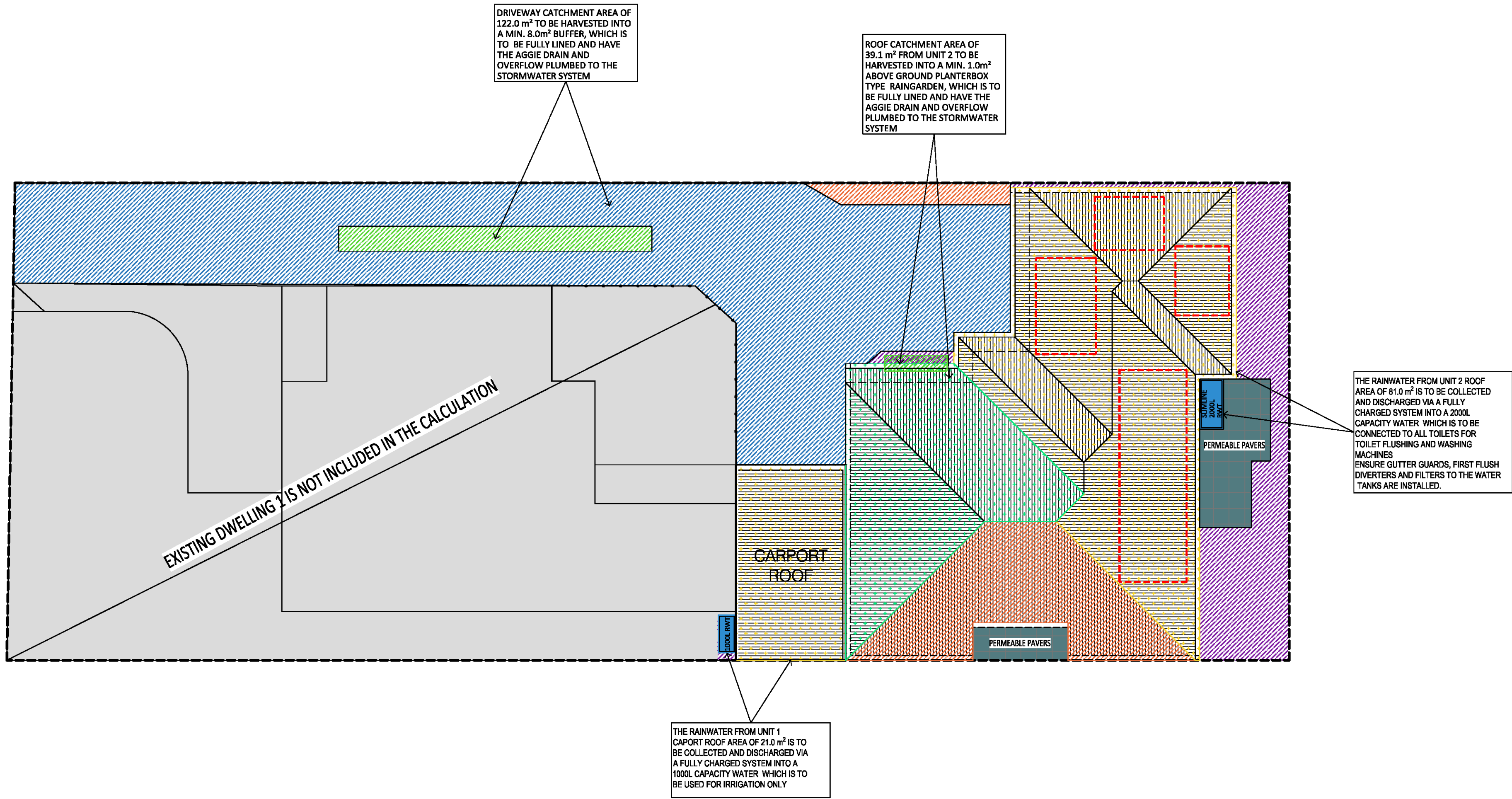
AREA SCHEDULE

SITE AREA:		627.8 m ²
SITE COVERAGE:	45.0 %	279.3 m ²
SITE PERMEABILITY:	38.0 %	186.0 m ²
GARDEN AREA:	38.0 %	186.0 m ²
HARD SURFACED AREA	26.0 %	162.0 m ²

GARDEN AREA INCLUDED

GARDEN AREA NOT INCLUDED

KEY	DESCRIPTION	DATE	BY	DRAWINGS: ELEVATIONS PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING ADDRESS: 14 NEPEAN STREET, BROADMEADOWS SCALE: 1:100 DATE: DEC 2024 DRAWN: AD PROJECT NO: 3085 03
KEY A	FORM FOR TOWN PLANNING SUBMISSION		AD	
<div style="background-color: black; width: 100%; height: 100px; margin-bottom: 5px;"></div> <div style="background-color: black; width: 100%; height: 100px;"></div>				DRAWING NO: <div style="font-size: 2em; font-weight: bold; text-align: center;">P04</div>
<p><small>This drawing is copyright, it is the property of [REDACTED] and must not be copied or used without our permission. If the drawings, refer to given dimensions, all dimensions must be checked and/or before commencement of any work. Discrepancies should be reported immediately to Architect/Engineer for interpretation. This document shall be used in conjunction with the other documents and specifications.</small></p>				



WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING
GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

TANK OVERFLOW MUST BE TAKEN TO L.P.D.

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

THE DEVELOPMENT INCLUDES THE REINTEGRATION OF URBAN WATER INTO THE LANDSCAPE TO FACILITATE A RANGE OF BENEFITS, INCLUDING MICROCLIMATE COOLING, LOCAL HABITAT AND PROVISION OF ATTRACTIVE SPACES FOR COMMUNITY USE AND WELL-BEING.

- THE INCORPORATED WSUD TREATMENT MEASURES WILL HELP TO CONTROL AIR, SOIL, AND WATER QUALITY, ALONG WITH OTHER POTENTIAL ENVIRONMENTAL PROBLEMS WITHIN THE SITE
- STORMWATER HARVESTING AND REUSE WILL REDUCE THE OVERALL STORMWATER OUTFLOWS FROM THE SITE WHILE ALSO REDUCING URBAN TEMPERATURES THROUGH ENHANCED EVAPOTRANSPIRATION AND SURFACE COOLING
- THE DEVELOPMENT MAXIMISES THE PROVISION OF VEGETATED LANDSCAPING AND PERMEABLE SURFACES, WHICH WILL HELP TO TRAP SEDIMENT AND ENHANCE FILTRATION OF NUTRIENTS AND PESTICIDES BY SLOWING DOWN RUNOFF THAT COULD ENTER THE LOCAL SURFACE WATERS OR THE COUNCIL STORMWATER SYSTEM
- THE ROOT SYSTEMS OF THE PLANTED VEGETATION WITHIN THE SITE WILL HOLD SOIL PARTICLES TOGETHER WHICH GREATLY REDUCES WIND EROSION AND STABILISES THE SOIL, PROVIDING PROTECTION AGAINST LOCAL EROSION WHICH WILL ALSO ASSIST GREATLY IN HOLDING AS MUCH WATER AS POSSIBLE AND RELEASING IT SLOWLY INTO THE STORMWATER SYSTEM
- THE SITE WILL NOW BE CAPABLE OF HOLDING A MUCH GREATER AMOUNT OF WATER DURING FLASH FLOODING EVENTS

ONCE A RAINWATER TANK IS INSTALLED, IT IS RECOMMENDED THAT THE FOLLOWING COMPONENTS OF THE ROOF CATCHMENT AND TANK BE INSPECTED AT LEAST EVERY SIX MONTHS:

- GUTTERS**- THEY GENERALLY WILL NEED CLEANING AS WELL AS INSPECTION. IF INSPECTION FINDS LARGE AMOUNTS OF LEAF MATERIAL OR OTHER DEBRIS, THEN THE INSPECTION AND CLEANING FREQUENCY MAY NEED TO BE INCREASED.
- ROOF**- CHECK FOR THE PRESENCE OF ACCUMULATED DEBRIS INCLUDING LEAF AND OTHER PLANT MATERIAL. ACCUMULATED MATERIAL SHOULD BE CLEARED. IF TREE GROWTH HAS LED TO OVERHANGING BRANCHES THESE SHOULD BE PRUNED.
- TANK INLETS, INSECT-PROOFING AND LEAF FILTERS**- IF NECESSARY THESE SHOULD BE CLEANED AND REPAIRED.
- TANK AND TANK ROOF**- CHECK STRUCTURAL INTEGRITY OF THE TANK INCLUDING THE ROOF AND ACCESS COVER. ANY HOLES OR GAPS SHOULD BE REPAIRED.
- INTERNAL INSPECTION**- CHECK FOR EVIDENCE OF ACCESS BY ANIMALS, BIRDS OR INSECTS INCLUDING THE PRESENCE OF MOSQUITO LARVAE. IF PRESENT, IDENTIFY AND CLOSE ACCESS POINTS. IF THERE IS ANY EVIDENCE OF ALGAL GROWTH (GREEN GROWTH OR SCUM ON OR IN THE WATER), FIND AND CLOSE POINTS OF LIGHT ENTRY.
- PIPEWORK** - CHECK FOR STRUCTURAL INTEGRITY. SECTIONS OF PIPEWORK THAT ARE NOT SELF-DRAINING SHOULD BE DRAINED. BURIED PIPEWORK, SUCH AS WITH 'WET SYSTEMS', CAN BE DIFFICULT TO DRAIN OR FLUSH. WHERE POSSIBLE DRAINAGE POINTS SHOULD BE FITTED.

IN ADDITION TO SIX-MONTHLY INSPECTIONS, TANKS SHOULD BE INSPECTED EVERY 2-3 YEARS FOR THE PRESENCE OF ACCUMULATED SEDIMENTS. IF THE BOTTOM OF THE TANK IS COVERED WITH SEDIMENT THE TANK SHOULD BE CLEANED.

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)

RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

14 Nepean Street, Broadmeadows

The proposed stormwater treatments comply with all the relevant objectives for management of stormwater flows on-site.

158%
SCORE

Project details

Name	14 Nepean Street, Broadmeadows
Street address	14 Nepean St, Broadmeadows VIC 3047, Australia
Municipality	Hume
Site area	345 m ²
Planning Number	

Flow and pollutant load reductions

Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	30%	>28%
Mean annual runoff volume infiltrated or filtered (%)	32%	>9%
Total suspended solids (%)	8%	>80%
Total phosphorus (%)	74%	>45%
Total nitrogen (%)	7%	>45%
Total gross pollutants (%)	74%	>70%

Water treatment

Catchments

Roof 2 to RWT @1m2	
Roof 2 to Raingarden 39.1m2	
Roof 2 - Untreated 25.1m2	Untreated
Dwelling 1 Carport Roof to RWT 21.0m2	
Driveway to Buffer Paved, 122m2	
Permeable Area Pervious (garden and lawn), 55m2	

Treatments

Rainwater Tank 2 Rainwater tank retention volume in kilolitres: 2	180%
Raingarden 1 Area: 1 m ² , Extended detention depth: 0.3 m, Submerged zone depth: 0.3 m, Site soil type: Sandy loam	204%
Rainwater Tank 1 Rainwater tank retention volume in kilolitres: 1	204%
Buffer 1 Area: 8 m ² , Site soil type: Sandy loam	153%

Buildings & dwellings

Dwelling 2 Residential Detached house, 3 bedroom(s)	
Dwelling 1 Carport Residential Detached house, 1 bedroom(s)	

Roof 2 to RWT	
Roof 2 to RWT @1m2	
Rainwater Tank 2 Rainwater tank retention volume in kilolitres: 2	180%
Dwelling 2 Residential Detached house, 3 bedroom(s)	
Roof 2 Raingarden	
Roof 2 to Raingarden 39.1m2	
Raingarden 1 Area: 1 m ² , Extended detention depth: 0.3 m, Submerged zone depth: 0.3 m, Site soil type: Sandy loam	204%
Dwelling 1 Carport to RWT	
Dwelling 1 Carport Roof to RWT 21.0m2	
Rainwater Tank 1 Rainwater tank retention volume in kilolitres: 1	204%
Dwelling 1 Carport Residential Detached house, 1 bedroom(s)	

Configuration 4

Driveway to Buffer Paved, 122m2	
Buffer 1 Area: 8 m ² , Site soil type: Sandy loam	153%

WSUD LEGEND/TREATMENT METHOD

	RAINWATER TANKS
	TREATED ROOF AREA TO RAINWATER TANK
	TREATED ROOF AREA TO RAINWATER TANK
	DRIVEWAY AREA TO BUFFER
	PERMEABLE AREA
	UNTREATED AREA
	RAINGARDEN / BUFFER
	26kW MINIMUM ROOFTOP SOLAR ENERGY GENERATION AREA NORTH EAST

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REV	DESCRIPTION	DATE	BY	DRAWINGS: WATER SENSITIVE URBAN DESIGN			
REV A	ISSUE FOR TOWN PLANNING SUBMISSION		AD	PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING			
				ADDRESS: 14 NEPEAN STREET, BROADMEADOWS			
SCALE: 1:100		DATE: DEC 2024	DRAWN: AD	PROJECT NO:	SERIES		
				DRAWING NO: P05			

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SPECIFICATIONS

SUBGRADE PREPARATION
SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER APPROPRIATE CONDITIONS. DISTURBANCE TO NATIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. ALL LAWN AND PLANTED AREAS SUB-GRADE TO IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM. DRAINAGE FALLS TO BE SHAPED PRIOR TO TOP SOILING. TEST SUB GRADE TO BE TO DETERMINE PH, SALINITY AND GYPSUM REQUIREMENT PRIOR TO PREPARATION AND CONDITIONING. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED ACCORDING TO MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. TOPPING AREAS TO BE GRADED / DRAINED TO AVOID WATER DISCHARGE INTO ADJOINING PROPERTIES.

WEED CONTROL
ENVIRONMENTAL WEEDS TO BE REMOVED AND DISPOSED OFF OF SITE PRIOR TO SUB GRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

SOIL PREPARATION
SPREAD TOPSOIL IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY CAREFULLY WALKING UNTIL IT IS SETTLED AT FINISHED KERB LEVELS OR TO WITHIN 75MM BELOW EDGINS LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH AS 2223-1978, AND AS FOLLOWS:
* FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES
* FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH
* PH TO BE 6.0-7.0
* TEXTURE TO BE LIGHT TO MEDIUM FRIABLE LOAM
* FREE FROM SALT MATERIAL
IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM, LIGHTLY COMPACT TO MINIMUM DEPTH OF 100MM.

MULCH
MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 80 - 80 PERCENT WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50 MM MAXIMUM BY VOLUME. SPREAD MULCH AT A CONSOLIDATED DEPTH OF 75MM.

PLANTING PROCEDURE
FILL PLANTING HOLE WITH WATER AND ALLOW TO DRAIN COMPLETELY IF SOIL IS DRY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF MATTED OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING. ENSURING TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO BRICKS, ROCKS OR FOREIGN MATERIAL. IF SUFFICIENT MATERIAL IS NOT AVAILABLE FORM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR SOIL TYPE MUST BE SOURCED AND USED. PREVENT LARGE AIR POCKETS IN SOIL FROM OCCURRING BY FIRMLY BACKFILLING SOIL IN LAYERS THEN THOROUGHLY WATERED IN. TREES TO BE STAKED WITH TWO 2250MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND. DO NOT BE PLACED STAKE THROUGH THE ROOTBALL AREA. TREES ARE TO BE SECURED TO EACH STAKE WITH A STRONG, SOFT AND FLEXIBLE MATERIAL, TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS BUT FLEXIBLE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE TIE MATERIAL MUST NOT DAMAGE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER (36 MONTH FORMULATION) SUCH AS 'OSMOCOTE' IS TO BE APPLIED TO THE TRUNK AREA AWAY FROM THE ROOTBALL. STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATERLOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

PLANT ESTABLISHMENT PERIOD
THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 13 WEEK ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING BUT NOT LIMITED TO THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER, PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE, MULCHING, STAKING AND TYING. MAINTAINED 75MM MULCH DEPTH AROUND TREE BASES THROUGHOUT MAINTENANCE PERIOD, WATER AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS, MAINTAIN WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL WEEDING. FERTILISING - 36 X MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES, REPLACEMENT OF DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD

IRRIGATION
IF APPLICABLE, INSTALL IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS

TIMBER EDGING
TIMBER EDGING TO BE 75MM X 35MM TREATED PINE SECURED TO 300MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM SPACINGS WITH GALVANISED SCREWS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / FEEBLE AREAS

DRAINAGE
LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS

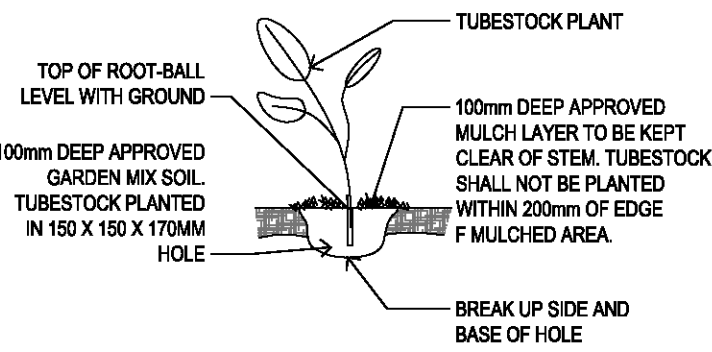
GENERAL
WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES. CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP. DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

PLANTS - QUALITY OF TREES AND SHRUBS
PROVIDE PLANTS AT SPECIFIED PLANT HEIGHTS AND POT SIZES, AT MINIMUM, PROVIDE LARGER STOCK IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES, TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM PESTS, INSECTS, DISEASES AND WEEDS. SUBSTITUTE PLANTS ARE NOT ACCEPTABLE UNLESS DEEMED ACCEPTABLE BY THE RESPONSIBLE AUTHORITY IN WRITING. SEMI MATURE TREES TO BE SUPPLIED TO MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE. HAVE A MINIMUM TRUNK CALLIPER OF 50MM AT GROUND LEVEL, BE UNDAMAGED AND FREE OF DISEASES AND INSECT PESTS, NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF - THE CONTAINER, SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY, SHOW HEALTHY, VIGOROUS GROWTH

PROTECTION OF EXISTING TREES
ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ON BOTH SUBJECT SITE AND NEIGHBOURING PROPERTIES TO BE RETAINED MUST BE SUITABLY MARKED AND PROTECTED (IF REQUIRED) PRIOR TO COMMENCEMENT OF DEVELOPMENT ON SITE INCLUDING DEMOLITION. VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION, TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES ON BOTH SUBJECT SITE AND ADJOINING PROPERTIES TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE PROTECTION MEASURES AS PER AS 4970-2009. ANY REQUIRED PRUNING MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING TO BE CARRIED OUT AS PER AS 4373-2007. ALL TREE PROTECTION PRACTICES MUST MEET THE REQUIREMENTS OF A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

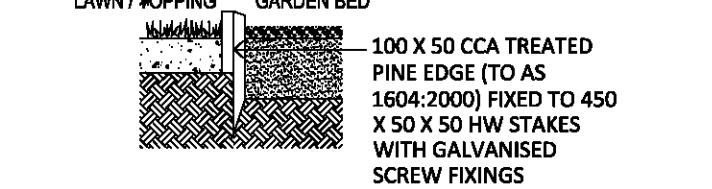
SHRUB PLANTING

DETAIL NOT DRAWN TO SCALE

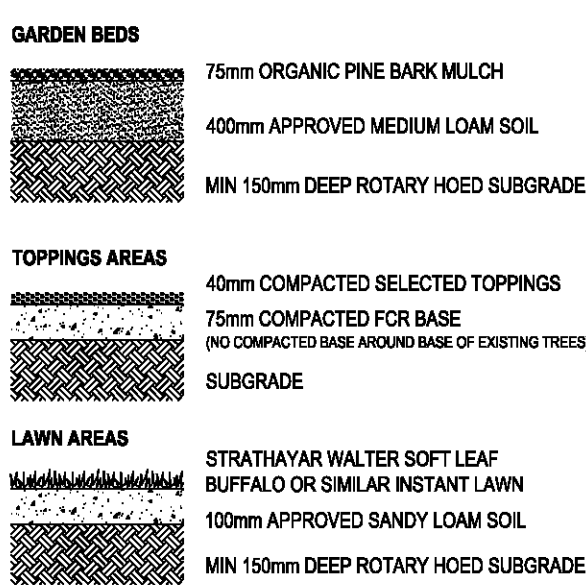


TYPICAL TIMBER EDGE DETAIL

TO ALL GARDEN BEDS AND LAWN / TOPPINGS EDGE

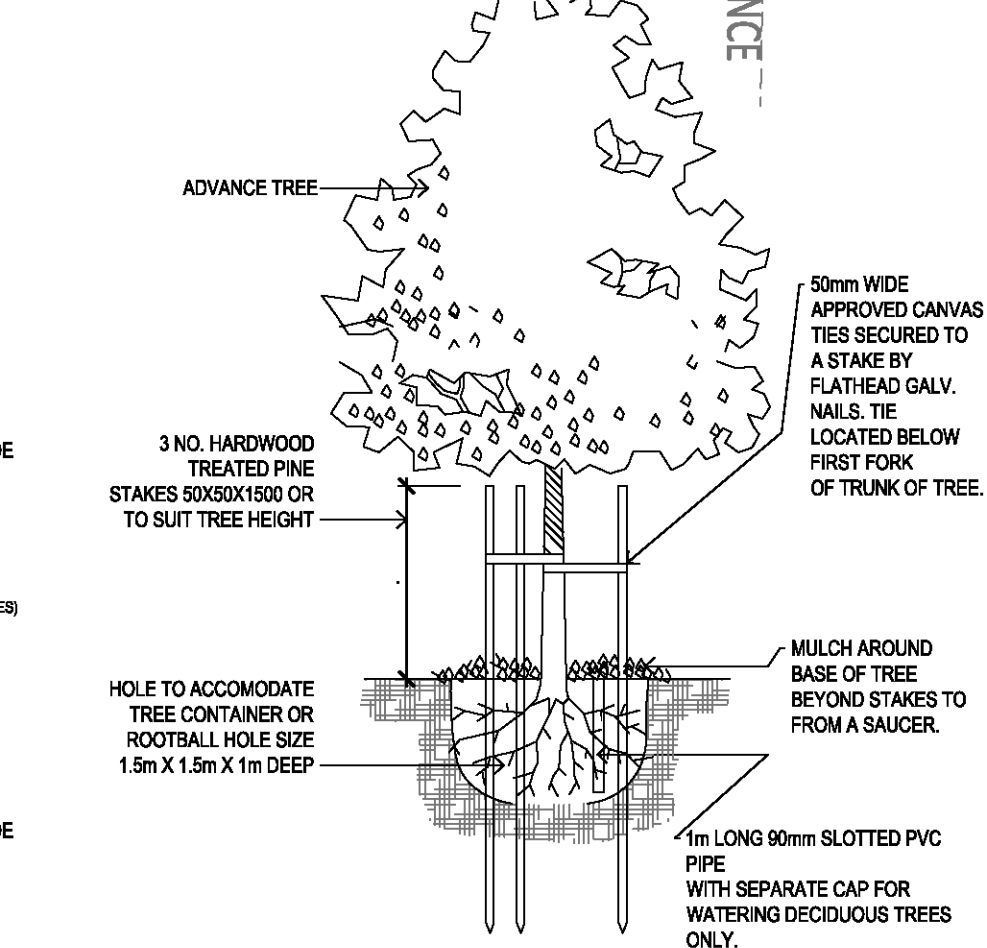


SURFACE FINISH DETAIL



ADVANCE TREE PLANTING

DETAIL NOT DRAWN TO SCALE

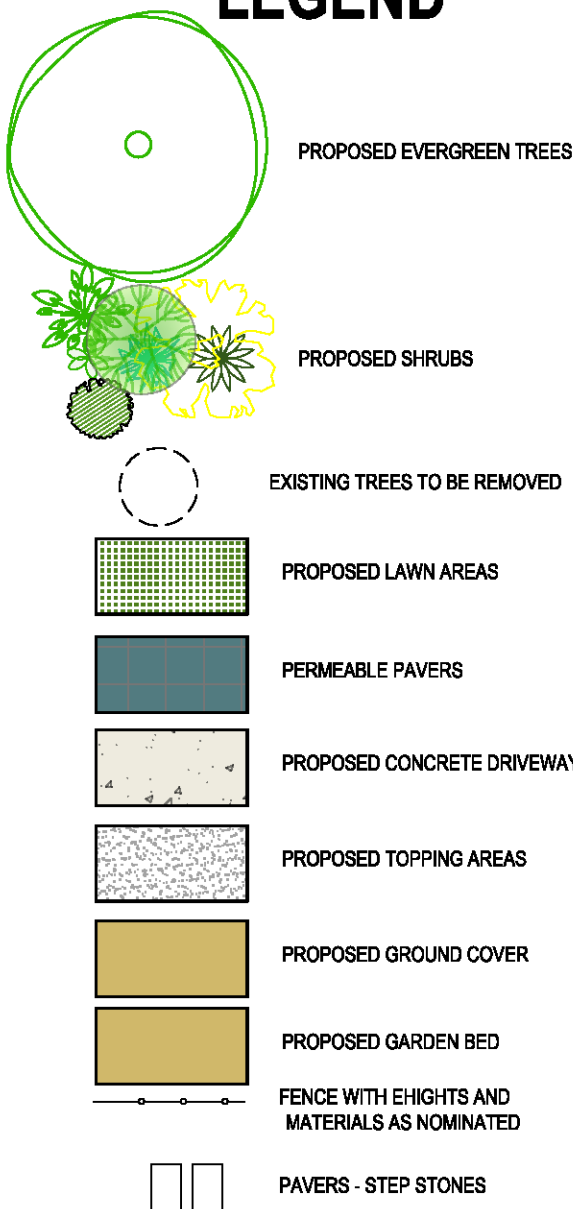


PLANTING SCHEDULE							
	ID	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT@ MATURITY(m)	WIDTH @MATURITY(m)	POT SIZE @ INSTALL (CM)
TREES	AL	1	ACACIA MELANOXYLON	LIGHTWOOD	10.0	5-5.9	40-MIN / 1.2m H
	ELC	1	EUCALYPTUS MANNIFERA	BRITTLE GUM	12.0	8-8.9	40-MIN / 2m H
SHRUBS & GROUNDCOVERS							
	DB	tbc	DUSKY BELLS	CORREA 'DUSKY BELLS'	0.6	0.7	14
	GR	tbc	GARDENIA FLORIDA	GARDENIA AUGUSTA	1.0	1.0	20
TUSSOCKS/ GRASSES/ EVERGREEN PERENNIALS							
	LT	tbc	TANIKA	LOMANDRA 'TANIKA'	0.6	0.6	14
	NA	tbc	NANDINA NANA 'DWARF NANDINA'	NANDINA DOMESTICA 'NANA'	0.6	0.6	14

62.18 SQM - 11.3% CANOPY COVER OF THE SITE AREA in accordance to B2-7.2 AREA SCHEDULE

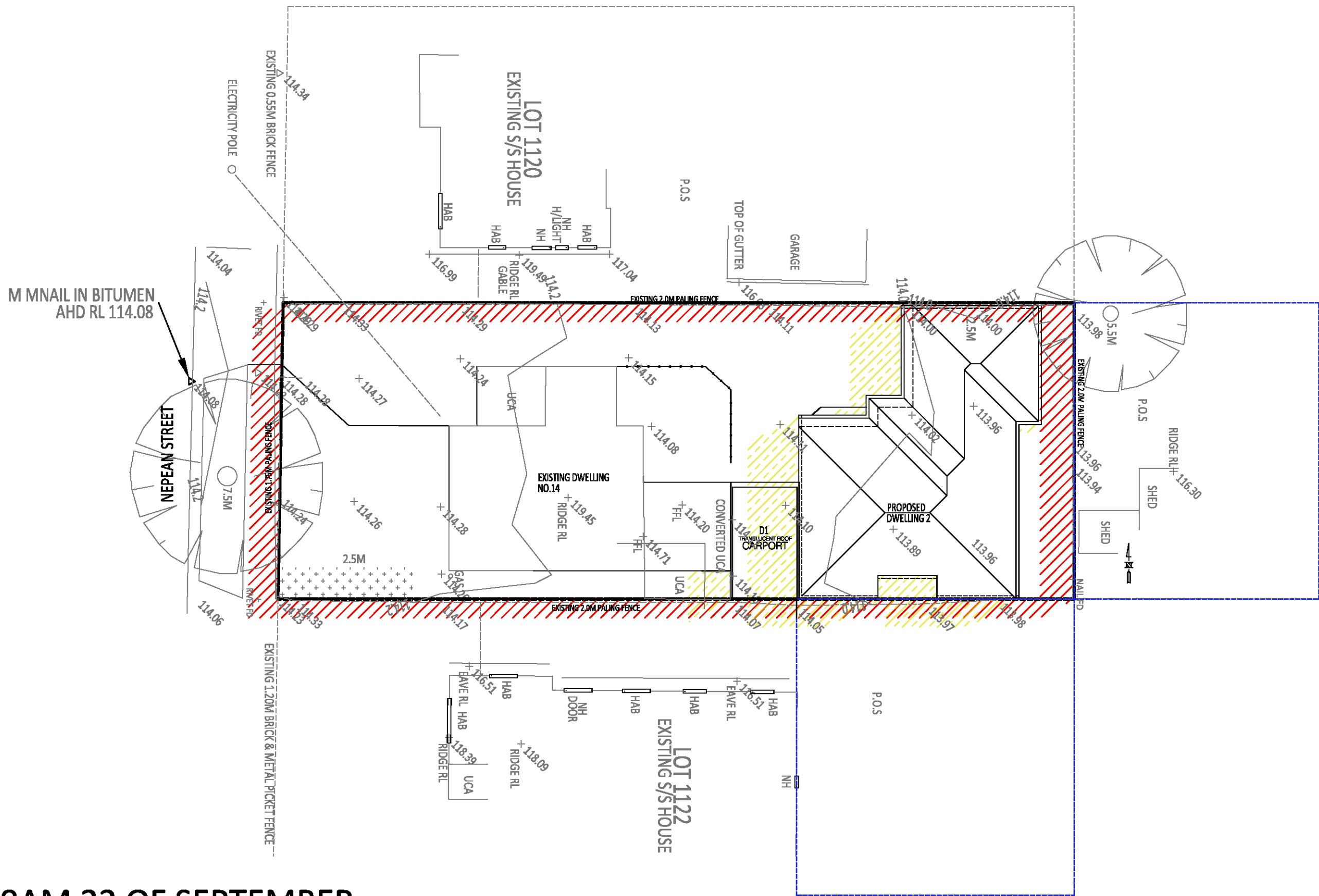
SITE AREA:		62.18 m²
SITE COVERAGE:	45.9 %	279.2 m²
SITE PERMEABILITY:	29.8 %	185.6 m²
GARDEN AREA:	38.9 %	240.8m²
HARD SURFACE AREA	26.6 %	164.0 m²

LEGEND



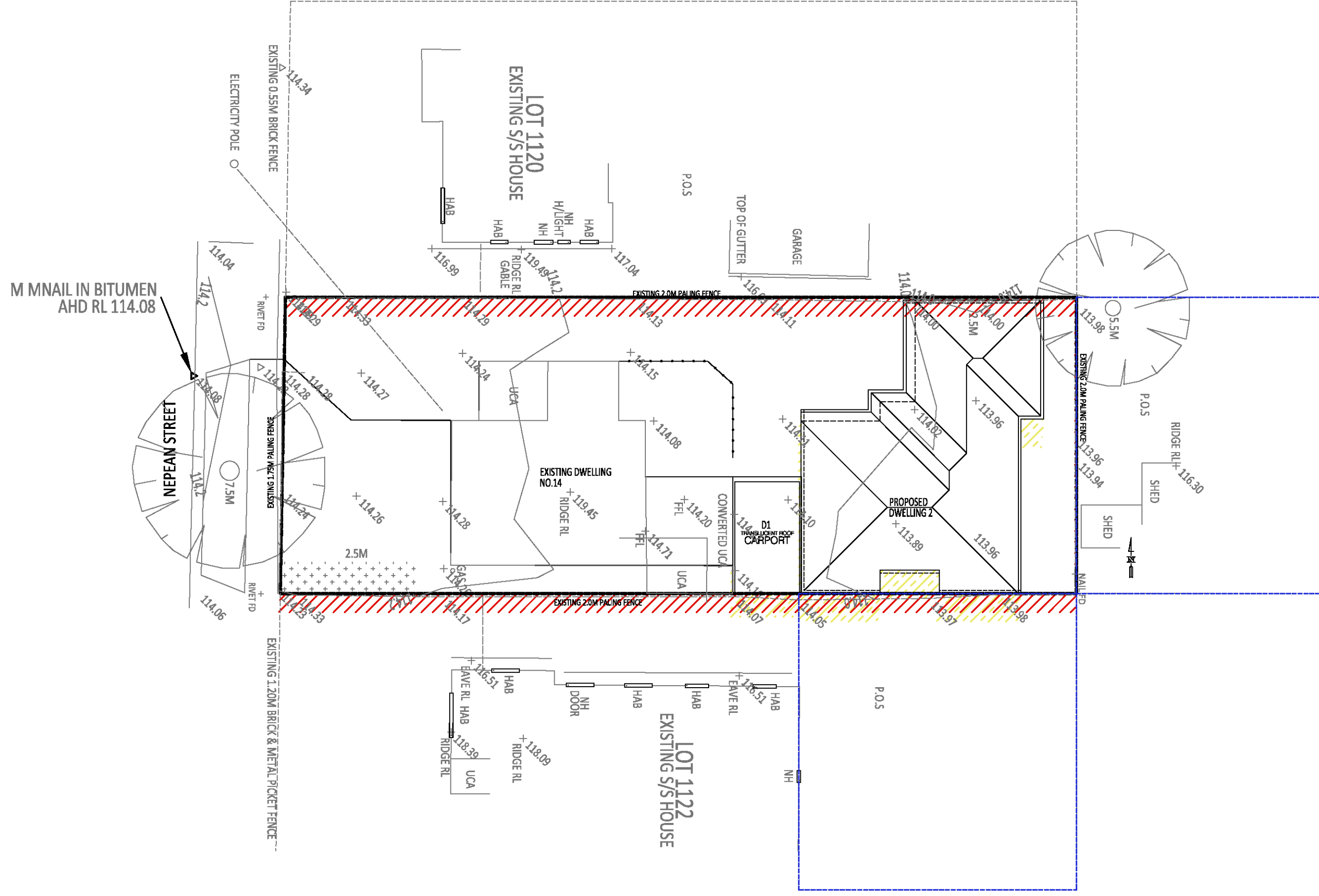
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REV	DESCRIPTION	DATE	BY
REV A	ISSUE FOR TOWN PLANNING SUBMISSION		AD
DRAWINGS: LANDSCAPE PLAN			
PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING			
ADDRESS: 14 NEPEAN STREET, BROADMEADOWS			
SCALE:	1:100	DATE:	DEC 2024
DRAWN:	AD	PROJECT NO.:	SERIES
DRAWING NO: P06			



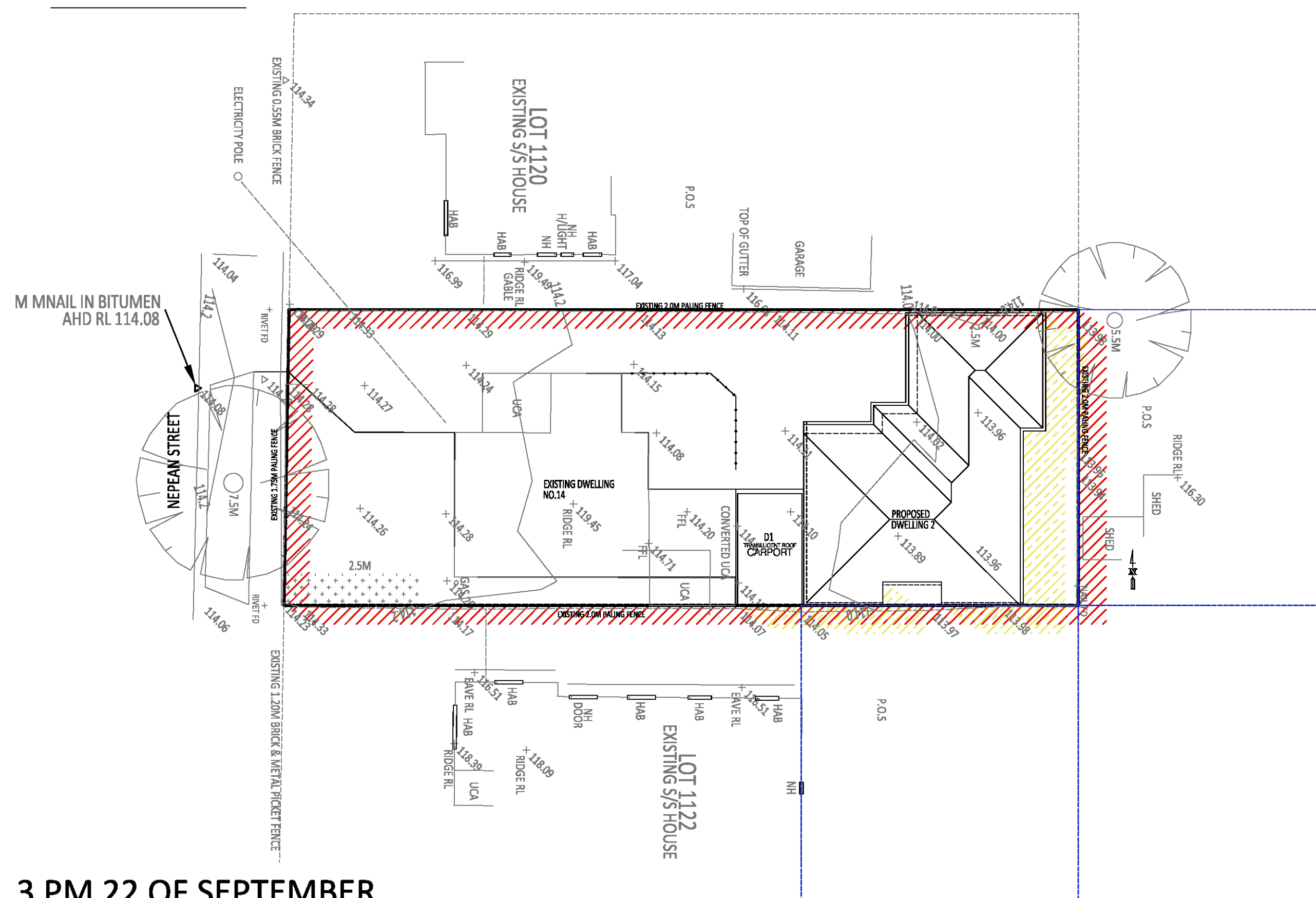
9AM 22 OF SEPTEMBER

NO 12 NEPEAN STREET	
PRIVATE OPEN SPACE	217.6m²
EXISTING SHADOW	1.3m²
ADDITIONAL SHADOW	1.0m²



12 PM 22 OF SEPTEMBER

NO 12 NEPEAN STREET	
PRIVATE OPEN SPACE	217.6m²
EXISTING SHADOW	1.4m²
ADDITIONAL SHADOW	0.4m²



3 PM 22 OF SEPTEMBER

NO 12 NEPEAN STREET		NO 11 ERNEST STREET	
PRIVATE OPEN SPACE	217.6m²	PRIVATE OPEN SPACE	191.6m²
EXISTING SHADOW	1.4m²	EXISTING SHADOW	2.1m²
ADDITIONAL SHADOW	0.4m²	ADDITIONAL SHADOW	0.00m²

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- PRIVATE OPEN SPACE
- EXISTING SHADOW DIAGRAM
- PROPOSED SHADOW DIAGRAM

REV	DESCRIPTION	DATE	BY	DATE
REV A	ISSUE FOR TOWN PLANNING SUBMISSION		AD	
DRAWINGS: SHADOW DIAGRAM				
PROPOSAL: SINGLE STOREY DWELLING AT THE REAR OF THE EXISTING				
ADDRESS: 14 NEPEAN STREET, BROADMEADOWS				
SCALE:	DATE:	DEC 2024	DRAWN: AD	PROJECT NO: SERIES
DRAWING NO: P07				

9 December 2025

Dear Mr [REDACTED]

TRAFFIC ASSESSMENT: 14 NEPEAN ST BROADMEADOWS

The traffic assessment has been based upon:

- Clause 52.06 of the Hume Planning Scheme;
- AutoTURN computer software program for the swept path assessment; and
- Layout plan of the proposed development at 14 Nepean St Broadmeadows, prepared by Manzel Studio Pty Ltd, Dwg P04, Rev A, dated December 2024.

The following traffic assessment examines the ability for occupiers to safely enter and exit the on-site spaces, manoeuvre on site to then exit from the site in a forward manner.

The layout plan used as a basis for the assessment is shown **Attachment A**.

Reference to Clause 52.06-9 (design standard 1) of the Hume Planning Scheme states that:

"if the accessway serves four or more spaces or connects to a road in a Road Zone, the accessway must be designed so that cars can exit the site in a forward direction."

The swept paths of vehicles entering and exiting the on-site spaces has been assessed with the use of the AutoTURN computer software.

The swept path analysis undertaken on the layout plan (refer **Attachment B**), shows that the occupiers are able to safely enter the on-site visitor spaces, manoeuvre on-site to then exit from the site in a forward manner in accordance with the requirements of the Hume Planning Scheme.

[REDACTED]
B.Eng (Civil), MEng Sc (Traffic), MBA

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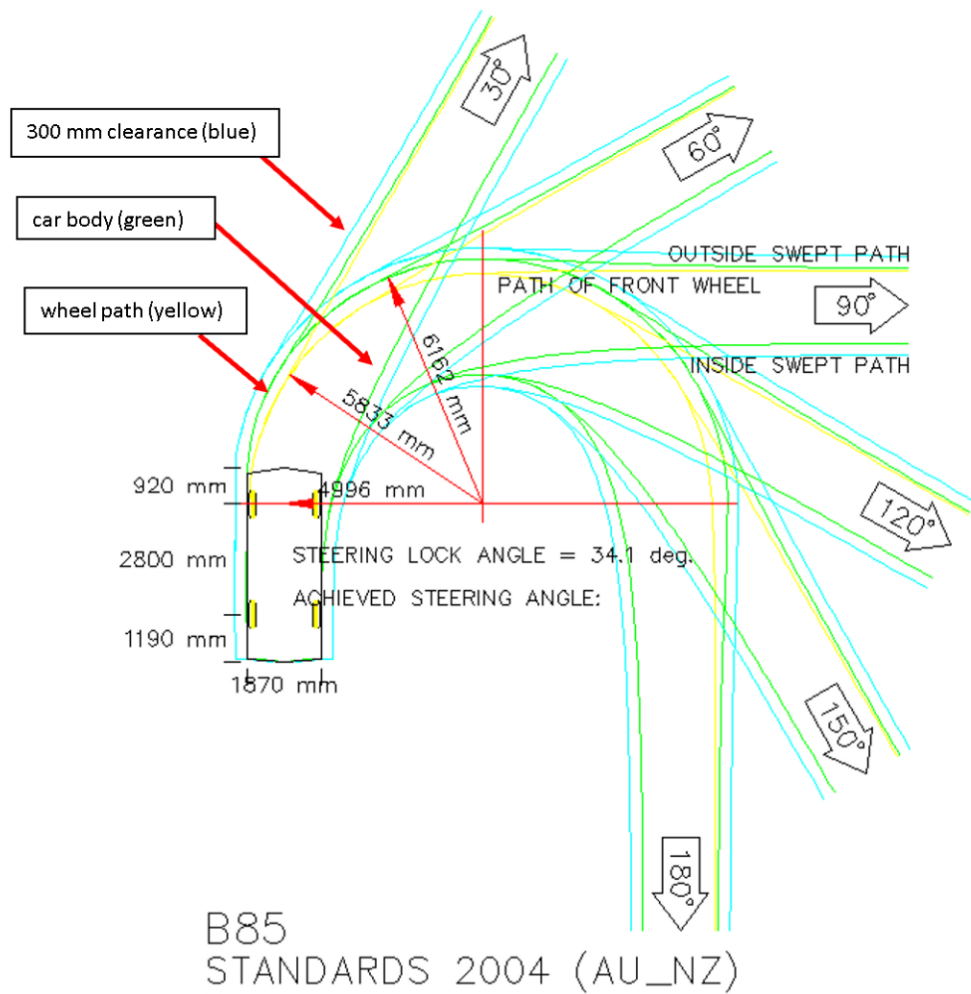


ATTACHMENT A
CAR PARK LAYOUT

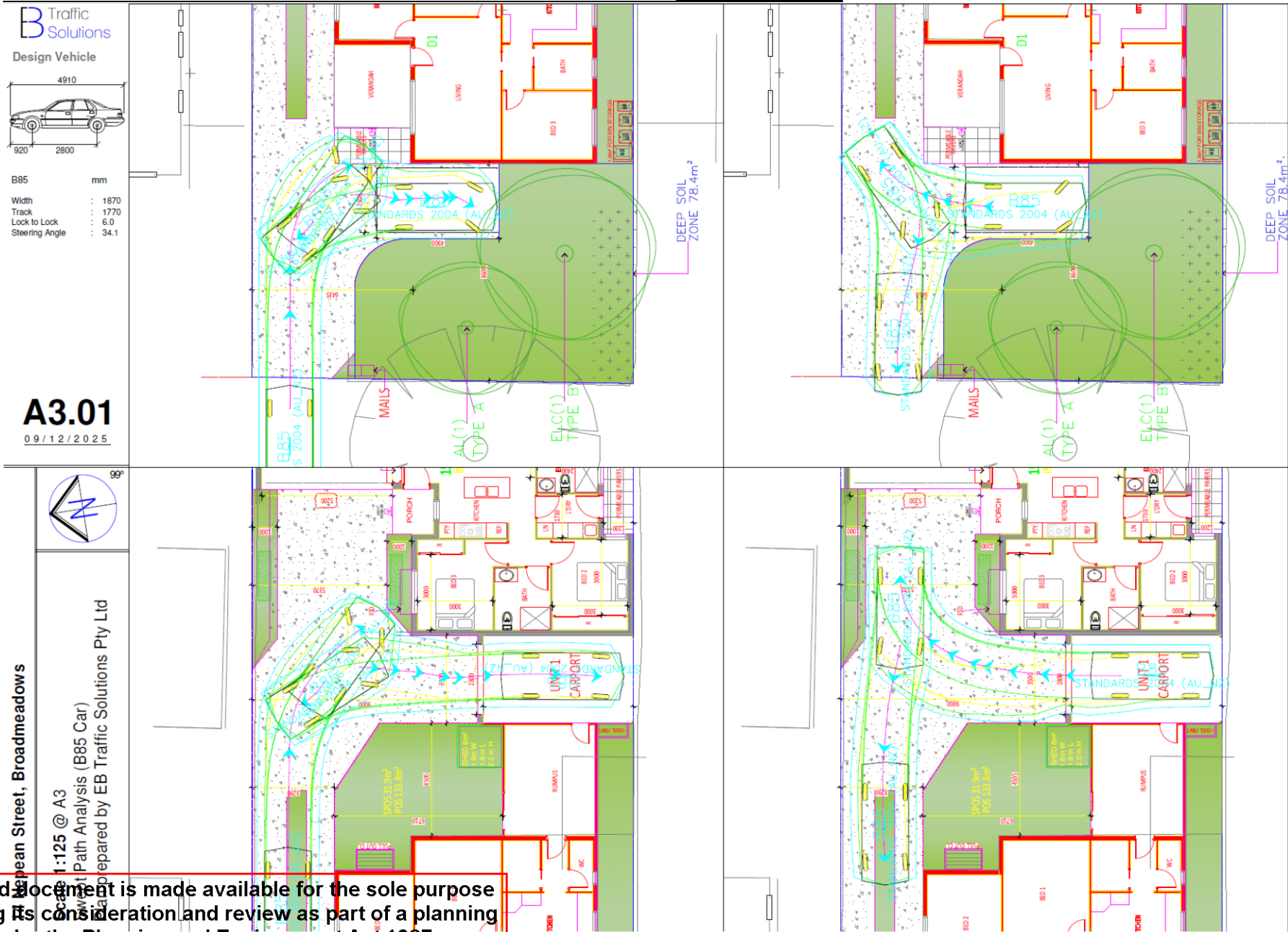


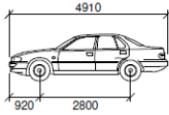
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ATTACHMENT B
SWEPT PATH ANALYSIS



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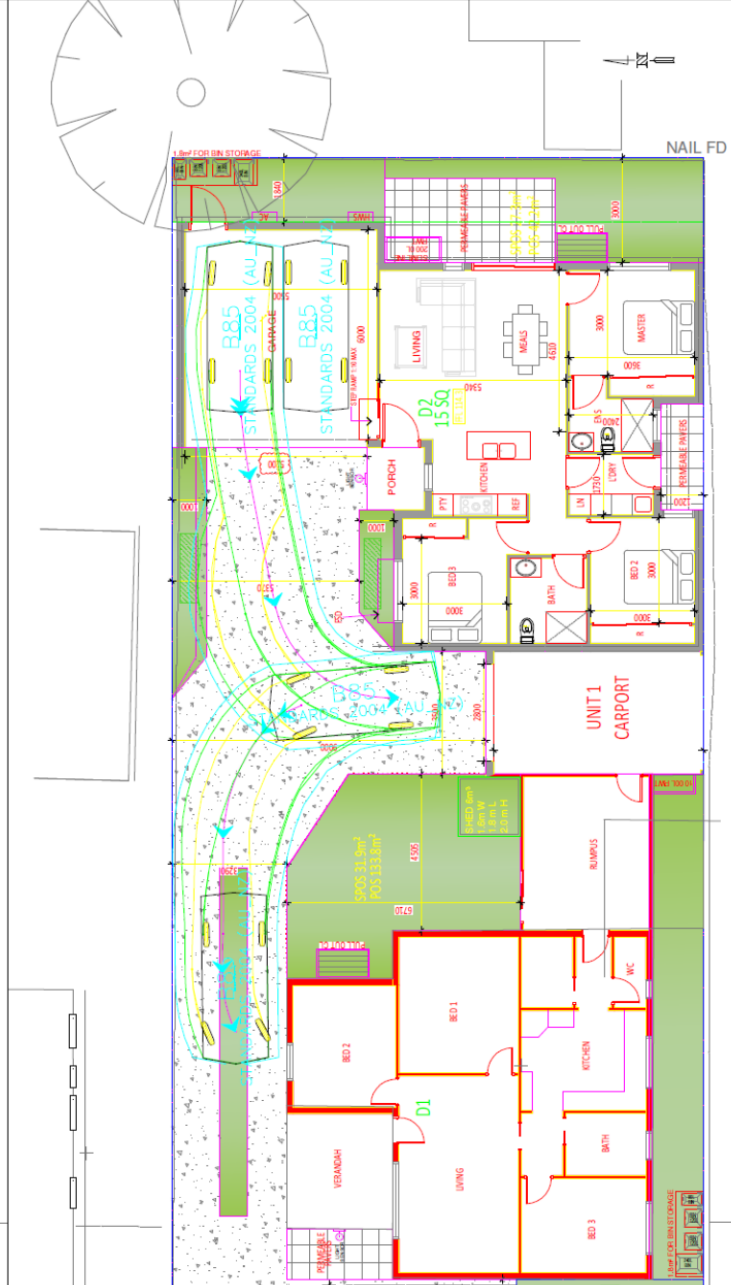
B85	mm
Width	1870
Track	1770
Lock to Lock	6.0
Steering Angle	34.1

A3.02
09/12/2025



Nepean Street, Broadmeadows
Scale: 1:125 @ A3
Site Path Analysis (B85 Car)
Prepared by EB Traffic Solutions Pty Ltd

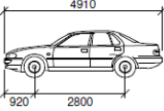
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EB Traffic Solutions

Design Vehicle



B85 mm

Width : 1870
Track : 1770
Lock to Lock : 6.0
Steering Angle : 34.1

A3.03
09/12/2025

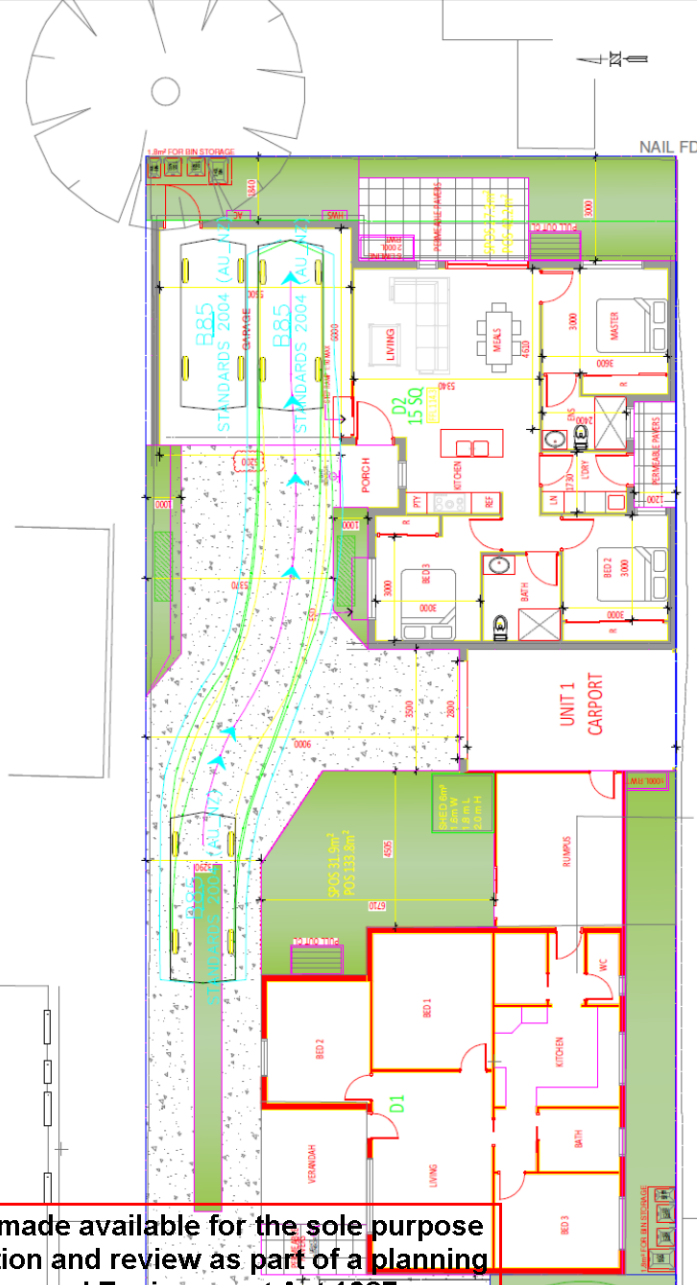


Mean Street, Broadmeadows

1:125 @ A3

Path Analysis (B85 Car)

Prepared by EB Traffic Solutions Pty Ltd



n2



n2