



Office Use Only

Application No.:

Date Lodged: / /

# Application for Planning Permit

Planning Enquiries  
Phone: 03 9205 2200  
Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) are mandatory and must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land **i** ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address \*

Unit No.:

St. No.: 120

St. Name: Sunbury Road

Suburb/Locality: Bulla

Postcode: 3428

Formal Land Description \*  
Complete either A or B.

**⚠** This information can be found on the certificate of title.

A

Lot No.: 2

Lodged Plan

Title Plan

Plan of Subdivision

No.: 923586T

OR

B

Crown Allotment No.:

Section No.:

Parish/Township Name:

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

## The Proposal **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? \*

If you need help about the proposal, read:  
[How to Complete the Application for Planning Permit Form](#)

Development and operation of 12,543 cemetery interment plots, with toilet and office facilities.

**📎** Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required \*

Cost \$95,000

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

## Existing Conditions **i**

④ Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, restaurant, grazing.

Farm land, being farmed and harvested for various grains.

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**📎** Provide a plan of the existing conditions. Photos are also helpful.


## Title Information

### 5 Encumbrances on title \*

If you need help about the title, read:  
[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

## Applicant and Owner Details

### 6 Provide details of the applicant and the owner of the land.

#### Applicant \*

The person who wants the permit.

*Where the preferred contact person for the application is different from the applicant, provide the details of that person.*

*Please provide at least one contact phone number \**


#### Owner \*

The person or organisation who owns the land

*Where the owner is different from the applicant, provide the details of that person or organisation.*

## Declaration

### 7 This form must be signed by the

 Remember it is against the law to provide false or misleading information which may be a heavy burden of the permit.

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## Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.delwp.vic.gov.au/planning](http://www.delwp.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?


No  Yes


## Checklist

9 Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

## Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council  
PO Box 119 Dallas VIC 3047  
Pascoe Vale Road Broadmeadows VIC 3047

### Contact information:

Telephone: 61 03 9205 2200

Email: [email@hume.vic.gov.au](mailto:email@hume.vic.gov.au)

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

### Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

### Save Form:

Save Form To  
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12608 FOLIO 160

Security no : 124124028571P  
Produced 30/04/2025 11:05 AM

**LAND DESCRIPTION**

Lot 2 on Plan of Subdivision 923586T.  
PARENT TITLES :  
Volume 00970 Folio 820      Volume 10032 Folio 707  
Created by instrument PS923586T 28/04/2025

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor



**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AZ045779M 11/04/2025  
NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT as to part Section 173 Planning and Environment Act 1987  
S323948K 25/01/1993

**DIAGRAM LOCATION**

SEE PS923586T FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NUMBER		STATUS	DATE
PS923586T (B)	PLAN OF SUBDIVISION	Registered	28/04/2025
AZ087874G	RECTIFY NAME ADDRESS	Registered	28/04/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 120 SUNBURY ROAD BULLA VIC 3428

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ECT Control 16089P NATIONAL AUSTRALIA BANK LTD  
Effective from 28/04/2025

DOCUMENT END



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250193 1107 M10 416 STRAZZINI

APPLICATION UNDER SECTION 181 PLANNING & ENVIRONMENT ACT.

S323948K

Lodged by:

PEARCE WEBSTER DUGDALES,  
51 Queen Street,  
Melbourne.



Solicitor Code: 1375W

APPLICATION BY A RESPONSIBLE AUTHORITY  
under Section 181 Planning and  
Environment Act 1987 for ENTRY OF A  
MEMORANDUM OF AGREEMENT under Section  
173 of the Act.

The Responsible Authority under the Planning Scheme having entered  
into an Agreement with the parties named for the land described  
requires that a memorandum of the Agreement be entered on the  
Certificate of Title to the land referred to.

LAND:

Volume 10032 Folio 707

ADDRESS OF THE LAND:

Cnr. Sunbury Road & Uniting Lane, Bulla.

RESPONSIBLE AUTHORITY:

Shire of Bulla.

PLANNING SCHEME:

Planning and Environment Act 1987 for  
the Shire of Bulla.

AGREEMENT DATE:

2<sup>nd</sup> November 1992

AGREEMENT WITH:

Shire of Bulla.

A copy of the Agreement is attached to this Application.

Signature for the Responsible Authority.

TOWN CLERK CHIEF EXECUTIVE.

December 1992

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process under the Planning and Environment Act 1987.  
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*Current*

*2*

*2/11/92*

THIS AGREEMENT is made the 2<sup>nd</sup> day of Novem

B E T W E E N:

C H I L D R E N

THE SHIRE PRESIDENT, COUNCILLORS AND CITIZENS OF THE SHIRE OF BULLA of Craigieburn Road West, Craigieburn in the State of Victoria ("the Council")

of the one part

- AND -

THE UNITING CHURCH IN AUSTRALIA PROPERTY TRUST (VICTORIA) of 130 Little Collins Street, Melbourne in the said State ("the Owner")

of the other part

W H E R E A S:

- A. The Owner is entitled to be registered as proprietor of all that piece of land described in Certificate of Title Volume 10032 Folio 707 being all that land situated at and known as corner Sunbury Road and Uniting Lane, Bulla ("the Land").
- B. The Council is the responsible authority pursuant to the Planning and Environment Act 1987 ("the Act") for the Bulla Planning Scheme ("the Scheme").
- C. The Owner applied to the Council for a planning permit for the use of the Land for the purpose of an education centre generally in accordance with plans received by Council on 27th June, 1991.
- D. On 2nd September, 1991 the Council issued Planning Permit No. 1154 ("the Permit"). The Permit provided, inter alia:

"15. The applicant shall enter into agreements under Section 173 of the Planning and Environment Act 1987 in relation to the Land, and the owner or occupier foregoes any right to object to the permit under the Planning and Environment Act 1987. The permit must not be used for any other purpose. Please note that the plan may not be to scale.

- 1 -

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right to take action against the Shire of Bulla and/or the Federal Airports Corporation in respect of aircraft noise levels. Further, a copy of this Planning Permit shall be included within any future contract of sale in respect of the subject land."

E. The Council and the Owner have agreed that without limiting or restricting their respective powers to enter into this Agreement and insofar as it can be so treated this Agreement shall be treated as an Agreement pursuant to Section 173 of the Act.

NOW THIS AGREEMENT WITNESSETH AS FOLLOWS:

1. In this Agreement unless inconsistent with the context of the subject matter "Owner" has the same meaning as provided for in the Act.
2. The Owner shall not make any claim nor take any action against the Council and/or the Federal Airports Corporation in respect to aircraft noise levels on the Land.
3. The Owner shall include a copy of the Planning Permit within any contract for the sale of the Land or any part thereof.
4. The Owner acknowledges that the Council may apply to the Registrar of Titles to register this Agreement under the provisions of Section 181 of the Act in respect of the Land and hereby consents to any such application and shall take all steps and sign all documents reasonable required by Council to enable such entry to take place.
5. Any notice hereunder may be served by delivering the same to the Owner or the Council at its address as aforesaid or by putting the same into the post in a prepaid certified envelope addressed to the Owner or the Council as the case

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48 hours from the date of posting.

IN WITNESS WHEREOF the parties have hereunder set their hands and seals the day and year first hereinbefore written.

THE COMMON SEAL of THE MAYOR, COUNCILLORS )  
AND CITIZENS OF THE SHIRE OF BULLA was )  
hereunto affixed in the presence of:- )

..... *P.M. McMahon* ..... MAYOR

..... *A. G. ...* ..... COUNCILLOR

..... *[Signature]* ..... CHIEF EXECUTIVE OFFICER

THE COMMON SEAL of THE UNITING CHURCH )  
IN AUSTRALIA PROPERTY TRUST (VICTORIA) )  
was hereunto affixed in pursuance of a )  
Resolution passed at a meeting of the )  
Members of the Trust in the presence )  
of:- )

..... *J. A. ...* ..... MEMBER

..... *[Signature]* ..... MEMBER

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120 Sunbury Road, Bulla

## PLANNING PERMIT APPLICATION REPORT- USE AND DEVELOPMENT OF THE SITE FOR A CEMETERY

June 2025

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# 1 Introduction

██████████ acts on behalf of ██████████ in relation to this planning permit application. The proposal is to use and develop the land at 120 Sunbury Road, Bulla for the purpose of a Cemetery.

The proposal is to use the site for a Cemetery in conjunction with (ii) two dedicated car parking areas (iii) an information centre (caretaker building) and (iiii) a 4m \* 4m double sided business identification sign on the southwest corner of the site.

This proposal has been developed with the support of the Bulla Cemetery Trust. Bulla Cemetery (400 meters north to the subject site) has been operating since approximately 1850. It is getting close to capacity and no longer pre-selling internment plots- only on an immediate need's basis. It is anticipated that the Bulla Cemetery will be sold out within approximately 5 years which creates the need for a new cemetery in the local area.

Use and development on the site is governed by the Hume Planning Scheme, with the site located within the Green Wedge Zone and covered by the Melbourne Airport Environs Overlay.

The following report provides an assessment of the proposal against the provisions of the Hume Planning Scheme.

This report should be read in conjunction with the following report, some included and some to be soon supplied:

- Town Planning drawings;
- Traffic Engineering Assessment, prepared by Traffix Consultants.

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## 2 Site and Context Description

### 2.1 Parcel details

The site is located at 120 Sunbury Road, Bulla. It is described as Crown Allotment 3, Section 1 of Parsih or Bulla- Lot 2 on Plan of Subdivision 923586T (VOLUME 12608 FOLIO 160).

A Section 173 - S323948K (25/01/1993) is attached to the Title. It was created when Lot 1 and Lot were still under one title, before been subdivided (see below). It was a result of a Planning Permit for a childcare ('education Centre') granted to Uniting Church (located on Lot 1) circa 1991. It was agreed that the owner shall not make any claim nor take any action against the Council and/or the Federal Airports Corporation in respect to aircraft noise levels on the Land. The education centre was never built.

The subject site (Lot 2) is a L shaped land and has a total area of approximately 6.58 hectares. The site is confined by Uniting Lane to the east and the Sunbury Road to the south. It has a frontage to Uniting Lane of 198 metres and a 153 meters abuttal to Sunbury Road. There are no easements or restrictions on the title.

### 2.2 Subject Site

The subject site is located Just beyond the corner of Uniting Lane and Sunbury Road, Bulla.

The subject site is included within the Green Wedge Zone (GWZ) and is affected by the Melbourne Airport Environs Overlay Schedule 1 (MAEO1). The Melbourne Airport Environs Overlay corresponds to different flights paths into and out of the airport.

The site is approximately 22 kilometres northwest of Melbourne's CBD and located directly north of Melbourne Airport.

The site is separated from the corner of the two bordering roads by Lot 1, occupied by the Bulla Presbyterian Church and Manse, separately located within 1 Uniting Lane, which is covered by a heritage Overlay Schedule 21. Lot 2 have been subdivided and disconnected from Lot 1 with Statement of Compliance issued on 30 April, 2025.

The site is relatively flat (a gradient of 7 meters from southwest to northeast) and devoid of any vegetation, with the exemption of the perimeter of the site to the north and around the Church and Manse.

The northern boundary abuts 5 Uniting Lane Bulla which is currently developed with two properties used by the Calabria Club and Dogs Victoria. The southern boundary, over Sunbury Road, is Crown land within the ownership of Melbourne Airport. Approximately 500m east of the subject site is the "Living Legends" Woodland Historic Park horse farm, restaurant and reception lounge. Bulla Town Centre is located approximately 2km west of the subject site.

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#### **Cultural heritage**

The site is not within an area of defined cultural heritage sensitivity.

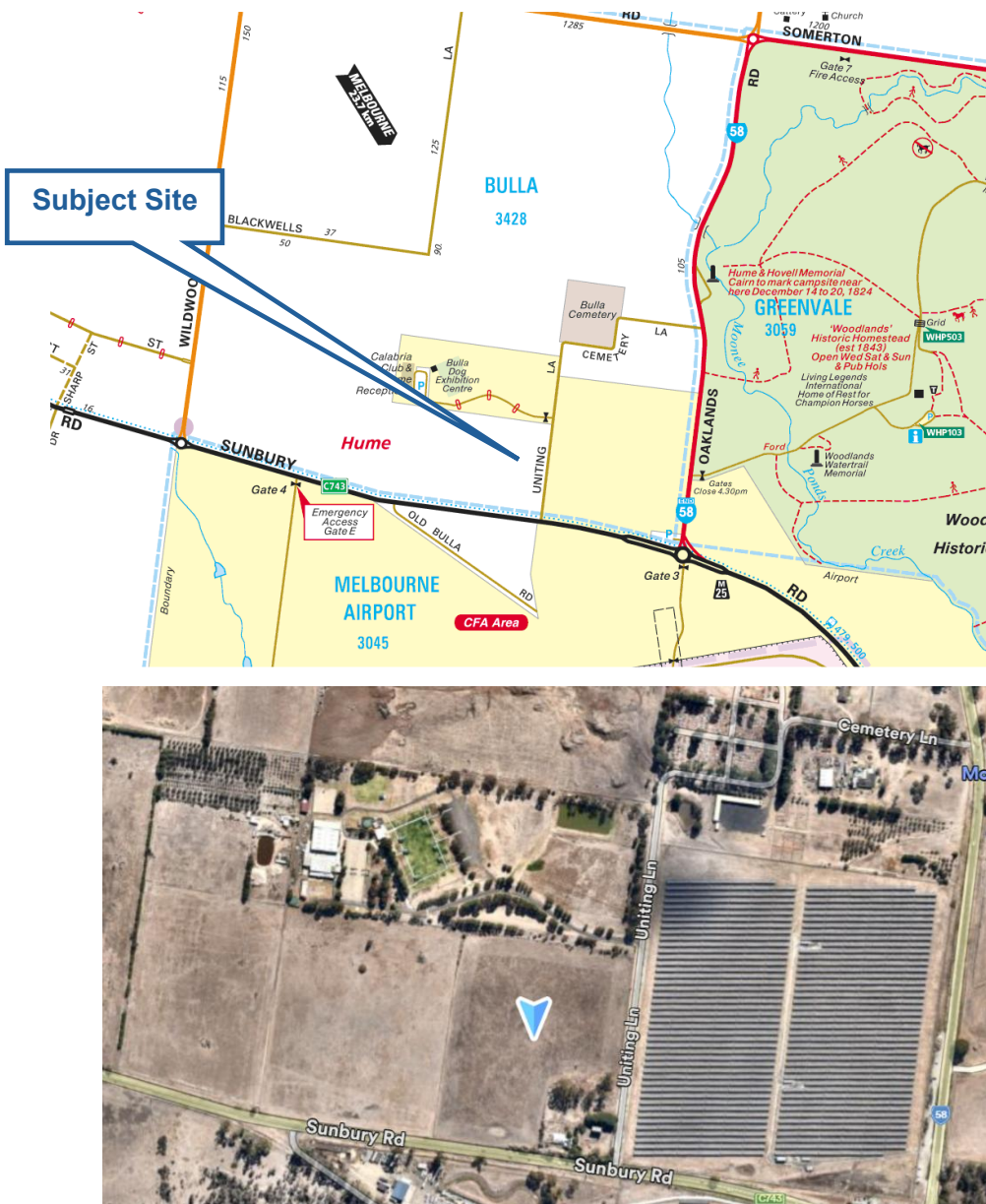


Figure 1- Site location and immediate surrounding (Source: Landvic/ NearMap)

### 2.3 Surrounding Area

The subject site is located between the townships of Bulla and Greenvale. Bulla is located 2.3 kilometres northwest of the subject site, Melbourne Airport Terminals just 5 kilometres south and Greenvale approximately 6.5 kilometres east of the subject site. The surrounding land uses include agriculture and grazing, comprising medium rural land holdings.

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Within approximately 800 metres of the subject site there are three dwellings, located to the south, west and north. The Calabria Club and Dogs Victoria are located directly north of the subject site. The Calabria Club is used for community events and Dogs Victoria is used for dog shows and competitions.

The Woodland “Living Legends” Historic Park lies approximately 500m to the east. The Bulla Cemetery lies approximately 500m to the north of the site.

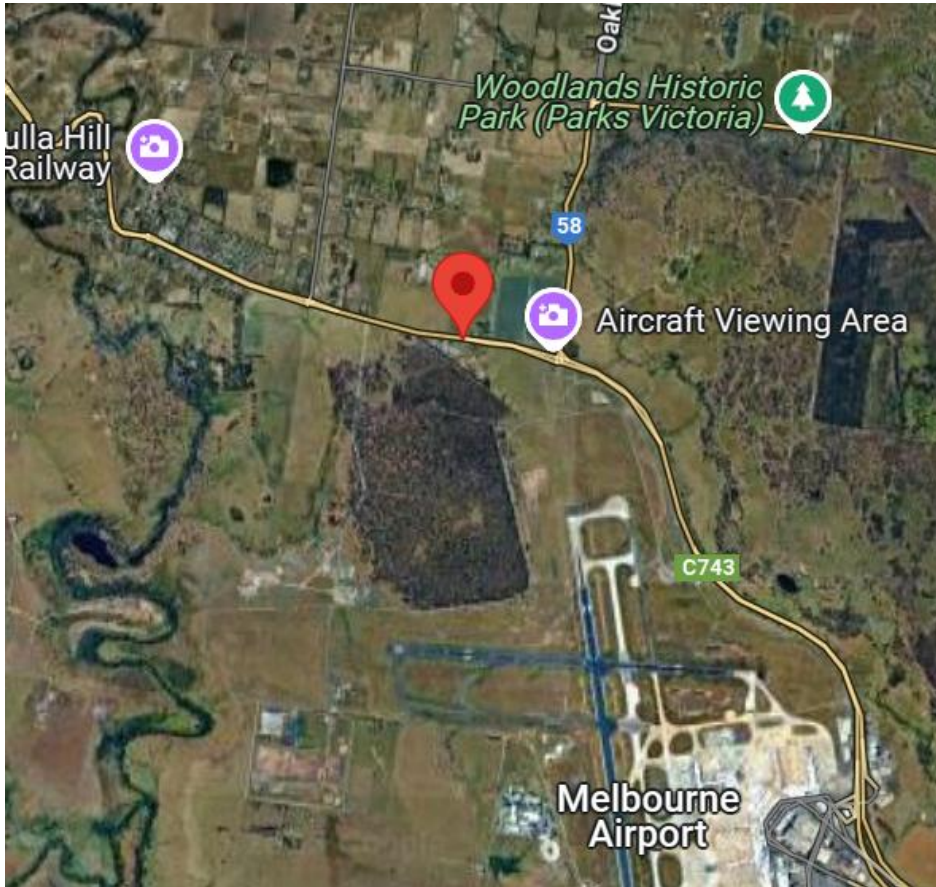
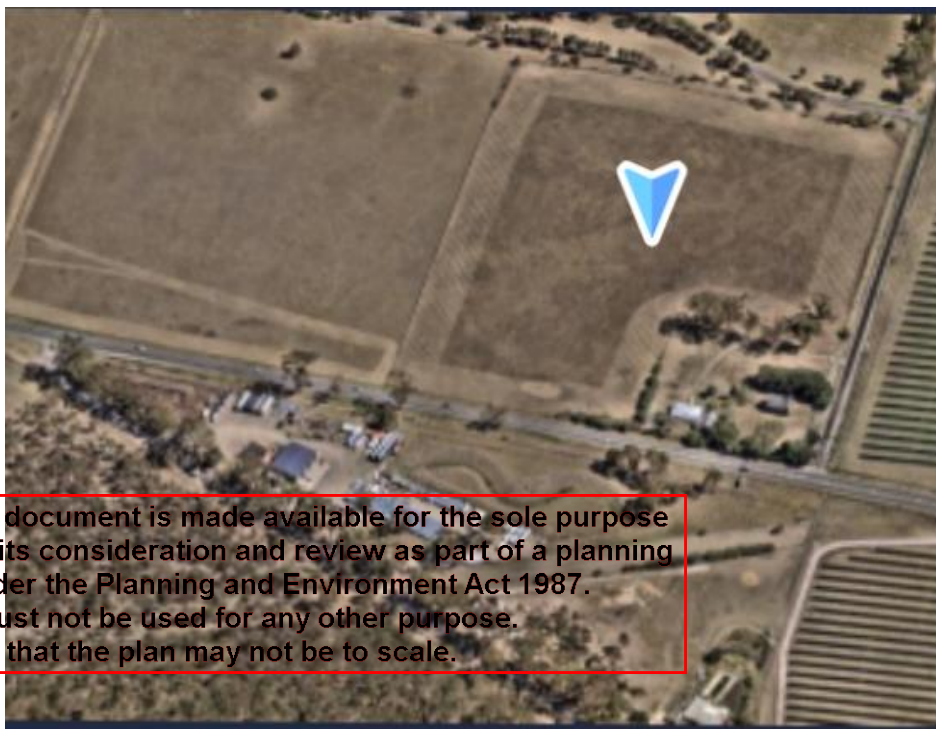


Figure 2- Site location and general surrounding (Source: Google Maps)



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Figure 3- Site aerial view (Source: NearMap)

## 3 Proposal

### 3.1 Key Components

The proposal is to use the site for a Cemetery in conjunction with (ii) two dedicated car parking areas (iii) an information centre (caretaker building) and (iiii) a 4m \* 4m double sided business identification sign on the southwest corner of the site.

The cemetery will accommodate approximately 12,500 burial plots. The concept plans nominate internal car parking areas in addition to some potential car spaces access directly from Uniting Lane.

The main entry to the cemetery will be from Uniting Lane, just north to the boundary with the church site on 1 Uniting Lane. It will lead to an information centre/ caretaker building on the site with office, toilets and showers, as well as sitting and waiting areas under shelters. Further toilets will be located at the western boundary of the proposed cemetery- comprising altogether four sets each contains 3 standard toilets, 3 shower areas, 1 changing room, and 1 disabled-friendly toilet. A columbarium will be located at the centre of the site and a memorial gazebo with benches and shelter will be located just south to the centre of the site.

A full-time administration officer who runs the site and working from the information centre will be present during working days. This is the same arrangement at the existing Bulla cemetery where a full-time employee is engaged by the Bulla Cemetery to manage the cemetery.

The Information Centre will be used for general administration, to greet potential buyers and for general Board meetings of the Bulla Cemetery Trust.

Next to the Information Centre, there is a provision for a "Loading Bay" on site, where the bobcat operator can leave his bobcat for funeral excavations. It is a dedicated excavator engaged for the purposes of digging internments. This area will be also used for any deliveries can be received onsite (e.g. headstones etc).

Other components as per the submitted plans are:

1. The cemetery will be divided to burial 'precincts' with internment plots served by 2.4m walkways between all cemetery lines, to allow for backhoe/excavator and walkway access
2. A 3m landscape boundary will be planted around entire perimeter
3. A 3m one way hardstand driveway adjacent to the landscape perimeter going around the entire site from site entry driveway at Uniting Lane and then going around clockwise and back to the same entry point, to allow the hearse to drive around. It has been designed to accommodate service vehicles, including an 8.8m Medium Rigid Vehicle (MRV).
4. Primary onsite car parking provision for 38 cars, as marked on the drawings, very close to the entrance, on the left-hand side, under the existing sugar gum trees

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### 3.2 Operation

The following indicative data based on the current Bulla cemetery activity and operations:

- Funeral Services- on average, between 3-4 funeral services will be hosted per week.
- Funeral Attendance- funeral attendance will generally range from 10 to 100 attendees per service, with most visitors arriving in private vehicles.
- Traffic Generation per service- on a typical funeral day, approximately 3-30 vehicle would be associated with each service.
- Visiting Hours Traffic- outside of scheduled services, the cemetery will receive approximately 5-20 visitors per day, primarily on weekends and public holidays, with lower volumes mid-week, generally spaced through the day.
- Waste management- the amount of waste generated is expected to be minimal. The waste management will be according to the regular waste cycles of Hume City Council. Red, yellow and green bins will be next to the Loading Bay (beside the Information Centre) and waste bins will be put out for collection by the Bulla Cemetery Admin Officer (who will work from the Information Centre).

### 3.3 Traffic and Access

- The site includes two dedicated car parking areas with the plans nominating a total of 43 car spaces. A one-way internal loop road facilitates vehicular circulation throughout the site and has been designed to accommodate service vehicles, including an 8.8m Medium Rigid Vehicle (MRV). While vehicles are permitted to circulate through the site, visitors shall park in the designated areas and access burial plots on foot.
- The site is served by Bus Route 479 operating within walking distance of the subject site. Bus Route 479 operates along Sunbury Road along the frontage of the subject site. Route 479 provides a service between Sunbury and Moonee Ponds via Melbourne Airport and Airport West. The nearest bus stop for these services is located at the intersection of Sunbury Road and Oaklands Road, approximately 450m walking distance east of the subject site.

### 3.4 Landscape Concept

The extensive landscaping for the site includes planting along boundaries and within internal specific areas. The propose planting and landscape buffer will create a distinctive site and will specifically serve to distinct and separate it from the surrounding land uses.

### 3.5 signage

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signage is proposed to be erected on the southwest corner of the site. The sign will serve identification and information purposes for the cemetery. It will be supported by 4m steel poles based in a concrete foundation.

## 4 Planning Controls

This section outlines the planning controls and policies of the Hume Planning Scheme that are relevant to this proposal.

The proposed development falls under the land use term of cemetery under Clause 73.03 of the Planning Scheme. A definition of the land use is provided as follows:

*'Land used to dispose of human remains by burial. It may include funeral chapels or the like'.*

### 4.1 State Planning Policy Framework (SPPF)

The following clauses of the SPPF are considered relevant to the proposed use and development of the subject site.

#### Clause 11 Settlement

##### Clause 11.02 Urban Growth

**Clause 11.02-1S Supply of Urban Land** seeks to ensure ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Key strategies include:

Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development.

Ensure that sufficient land is available to meet forecast demand.

Plan to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply will be considered on a municipal basis, rather than a town-by-town basis.

Planning for urban growth should consider:

- Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
- Neighborhood character and landscape considerations.
- The limits of land capability and natural hazards and environmental quality.
- Service limitations and the costs of providing infrastructure.

Monitor development trends and land supply and demand for housing and industry.

Maintain access to productive natural resources and an adequate supply of well-located land for energy generation, infrastructure and industry.

Restrict rural residential development that would compromise future development at higher densities.

**Clause 18.02-7R 'Melbourne Airport'** seeks to strengthen the role of Melbourne Airport within the State's economic and transport infrastructure and protect its ongoing operation.

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- Ensure the effective and competitive operation of Melbourne Airport at both national and international levels.

- Ensure any new use or development does not prejudice the optimum usage of Melbourne Airport.

- Ensure any new use or development does not prejudice the curfew-free operation of Melbourne Airport.
- Protect the curfew-free status of Melbourne Airport.

### **Comment**

The proposed use and development of the land within close proximity to the Melbourne Airport “does not prejudice the optimum usage” or the “curfew-free operation” of Melbourne Airport in any way.

Furthermore, the new Cemetery will clearly “Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development” as well as ensure a sufficient supply of land is available for community uses.

As mentioned above, Bulla Cemetery (400 meters north to the subject site) has been operating since approximately 1850. It is getting close to capacity and no longer pre-selling internment plots-only on an immediate need’s basis. It is anticipated that the Bulla Cemetery will be sold out within approximately 5 years which creates the need for a new cemetery in the local area.

The SPPF clearly supports cemetery development to service the community on need basis.

## 4.2 Zoning

### **Green Wedge Zone (GWZ)**

The subject site is located in a Green Wedge Zone (**GWZ**). The purposes of the GWZ are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To recognise, protect and conserve green wedge land for its agricultural, environmental, historic, landscape, recreational and tourism opportunities, and mineral and stone resources.
- To encourage use and development that is consistent with sustainable land management practices.
- To encourage sustainable farming activities and provide opportunity for a variety of productive agricultural uses.
- To protect, conserve and enhance the cultural heritage significance and the character of open rural and scenic non-urban landscapes.
- To protect and enhance the biodiversity of the area.

Pursuant to the GWZ, a permit is required to construct a building or any works associated with use in Section 2 of Clause 35.04-1.

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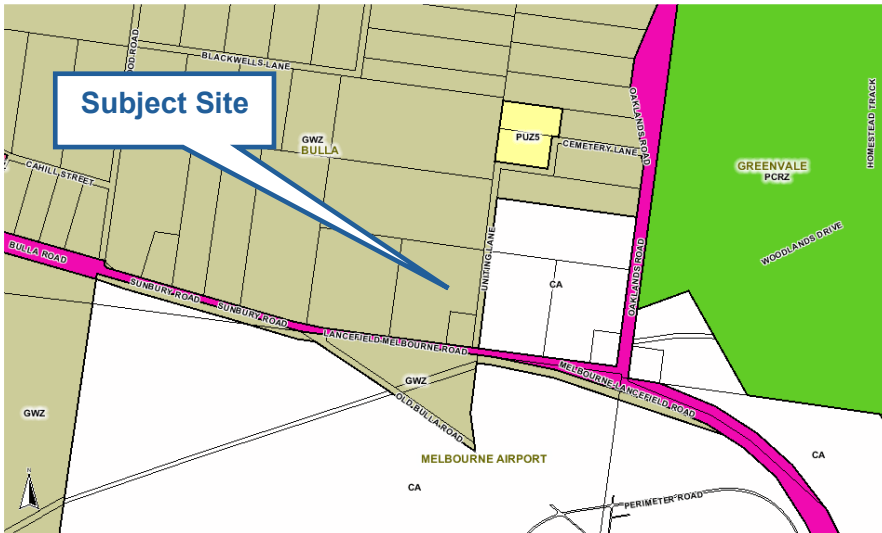


Figure 4- Zoning Map

**Comment**

Cemetery as a land use is not included within the Table of Uses at Clause 35.04-1. As such, according to this Clause, any other use not in Section 1 or 3 falls under Section 2 – Permit required.

The proposed use intends to replace the current Bulla cemetery which is closed to capacity. The development of a new cemetery will service the community on need basis and is an important community service in constant need.

The development of a new cemetery addresses the following Decision guidelines (Clause 35.04-6):

- The land is capable to accommodate the proposed use or development.
- The site is suitable for the use or development and the compatibility of the proposal with adjoining land uses.
- The use or development is essential to the health, safety or well-being of the State or area but is not appropriate to locate in an urban area because of the effect it may have on existing or proposed urban areas or the effect that existing or proposed urban areas may have on the proposed use or development.
- The proposed cemetery will not impact on the existing and proposed rural infrastructure.
- The proposed cemetery will not impact on the flora and fauna on the site and its surrounds.
- The proposed cemetery design minimises any adverse impacts of siting, design, height, bulk, and colours and materials to be used, on landscape features, major roads and vistas.
- The proposed information centre or caretaker building is associated with the proposed use-

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### 4.3 Overlays

#### Melbourne Airport Environs Overlay (MAEO1)

The purpose of the MAEO is:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To ensure that land use and development are compatible with the operation of Melbourne Airport in accordance with the relevant airport strategy or master plan and with safe air navigation for aircraft approaching and departing the airfield.
- To assist in shielding people from the impact of aircraft noise by requiring appropriate noise attenuation measures in dwellings and other noise sensitive buildings.
- To provide for appropriate levels of noise attenuation depending on the level of forecasted noise exposure.

#### **COMMENT**

The proposed use and development will not have a negative impact on the ongoing operations of the Melbourne Airport. Although the site is located within a Melbourne Airport flight path, no planes currently fly directly over the subject site. Furthermore, the proposed uses have no impact on overhead aircraft.

### 4.4 Particular Provisions

The following Particular Provisions are considered relevant to the proposed use and development of the subject site.

#### **Clause 52.06 Car parking**

Clause 52.06 has the following purposes:

- To ensure that car parking facilities are provided in accordance with:
  - Any parking precinct plan.
- To provide the opportunity to use parking precinct plans in appropriate locations.
- To promote the efficient use of car spaces through the consolidation of car parking facilities.
- To ensure the provision of an appropriate number of car spaces having regard to the activities on the land and the nature of the locality.
- To ensure that the design and location of car parking areas:
  - Does not adversely affect the amenity of the locality, in particular the amenity of pedestrians and other road users.
  - Achieves a high standard of urban design.
  - Creates a safe environment for users, particularly at night.
  - Enables easy and efficient use.
  - Protects the role and function of nearby roads.
  - Facilitates the use of public transport and the movement and delivery of goods.

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Pursuant to this clause, a new use must not commence until the required car spaces have been provided on the land to the satisfaction of the Responsible Authority.

There is no car parking rate for cemetery under Clause 52.06-5. It is not nested under another land use term. In this regard Clause 52.06-6 sets out that:

*Where a use of land is not specified in Table 1 or where a car parking requirement is not specified for the use in another provision of the planning scheme or in a schedule to the Parking Overlay, before a new use commences or the floor area or site area of an existing use is increased, car parking spaces must be provided to the satisfaction of the responsible authority. This does not apply to the use of land for a temporary portable land sales office located on the land for sale.*

In response to the above, Traffix Group have undertaken a traffic engineering Assessment of the car parking demand for the proposed use (please refer to their report).

Based on a maximum attendance of 100 persons per service, a car parking demand ratio of 0.3 spaces per person have been adopted, equates to a requirement for 30 on-site parking spaces. This rate is consistent with the statutory parking rate for a 'place of assembly' under Clause 52.06 of the Planning Scheme.

This rate also which recognises that attendees typically arrive via shared transport or in funeral processions rather than individually.

To meet this demand the development plans currently 'over provide' for:

- 8 car parking spaces near front entry1, and
- 5 car parking spaces towards rear boundary.

### **Clause 52.05 'Advertising Signs'**

The purpose of Clause 52.05 is:

- To regulate the display of signs and associated structures.
- To provide for signs that are compatible with the amenity and visual appearance of an area, including the existing or desired future character.
- To ensure signs do not contribute to excessive visual clutter or visual disorder.
- To ensure that signs do not cause loss of amenity or adversely affect the natural or built environment or the safety, appearance or efficiency of a road.

Clause 34.05-7 of the Green Wedge Zone states that advertising signs are classified as category 3 'High Amenity Areas' within Clause 52.05.

Clause 52.05-9 Category 3 'high amenity areas' aims to ensure that signs in high-amenity areas are orderly, of good design and do not detract from the appearance of the building on which a sign is displayed or the surrounding area.

### **COMMENT**

The proposed sign will be classified as business identification sign and therefore will require a permit under Clause 52.05-9. The sign is minimal in size and of good design and will not detract from the appearance of the surrounding area.

This copy of Clause 52.17 Native Vegetation is for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.

Clause 52.17 Native Vegetation results in no net loss in the contribution made by native vegetation to Victoria's biodiversity. This is achieved through the following approach:

- Avoid the removal of native vegetation that makes a significant contribution to Victoria's biodiversity.

- Minimise impacts on Victoria's biodiversity from the removal of native vegetation.
- Where native vegetation is permitted to be removed, ensure that an offset is provided in a manner that makes a contribution to Victoria's biodiversity that is equivalent to the contribution made by the native vegetation to be removed.
- To manage native vegetation to minimise land and water degradation.
- To manage native vegetation near buildings to reduce the threat to life and property from bushfire.

A permit is required to remove, destroy or lop native vegetation, including dead native vegetation unless otherwise exempt.

**No native vegetation is proposed to be removed as a result of this development.**

## 4.5 Particular Provisions

The following General Provisions are considered relevant to the proposed use and development of the subject site:

### **Clause 65 Decision Guidelines**

Approval of an application or plan, states that before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in Section 60 of the Act.
- The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.

### **COMMENT**

The proposed use and development are in accordance with Clause 65 Decision Guidelines of the Hume Planning Scheme. Some considerations include:

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- Orderly planning of the area- the proposed minimal development will address the community needs.
- Effect on the amenity of the area- the area's amenity will improve as a result of the planned landscaping.
- Purpose of the zone- the proposed development is consistent with the purposes of the Green Wedge Zone.
- There are no issues regarding native vegetation.

## 5 Conclusion

The proposed development is appropriate and should be supported on multiple grounds:

- As mentioned above, Bulla Cemetery (400 meters north to the subject site) has been operating since approximately 1850. It is getting close to capacity and no longer pre-selling internment plots- only on an immediate need's basis. It is anticipated that the Bulla Cemetery will be sold out within approximately 5 years which creates the need for a new cemetery in the local area.
- The proposed use intends to replace the current Bulla cemetery which is closed to capacity. The development of a new cemetery will service the community on need basis and is an important community service in constant need. The SPPF clearly supports cemetery development to service the community on need basis.
- The new Cemetery will clearly "Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development" as well as ensure a sufficient supply of land is available for community uses.
- The proposed use has no adverse impact on Melbourne Airport given the proposed development does not lie directly under airplane flight paths, is single storey, and does not impact the curfew-free operation of the Airport in any way, consistent with Clause 18.04-1.
- The proposed sign will be classified as business identification sign and therefore will require a permit under Clause 52.05-9. The sign is minimal in size and of good design and will not detract from the appearance of the surrounding area.
- Under Clause 52.06, the proposed development requires parking to the satisfaction of the responsible authority. Based on an empirical assessment, the provision of 43 parking spaces will easily accommodate the parking demands associated with the proposed use and development. The parking layout accords the relevant standards
- The site proposes a suitable car parking areas meeting the peak car parking demands on-site. Bicycle parking is not required under the Clause 52.34 of the Planning Scheme and no bicycle parking is proposed. The level of traffic generated by the proposal is negligible, with no new vehicle trips proposed to the road network,

As demonstrated in this report and attachments the proposal is appropriate and warrants Council approval.

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25/6/2025

To Whom It May Concern,

RE ; Indicative Traffic Volumes

I am writing on behalf of Bulla Cemetery, located at Cemetery Lane In Bulla, to provide indicative traffic flow information for the purposes of assisting the preparation of a traffic engineering assessment in support of a proposed cemetery development at 120 Sunbury Rd Bulla.

Bulla Cemetery has been operating since approximately 1850.

Given strong demand for interments, we are no longer pre-selling interment plots and only selling plots on an immediate needs basis. Even given this sales constraint, we anticipate that the Bulla Cemetery will be sold out within approximately 5 years and so there is a need for a new cemetery in the local area.

Given our long operating history, we can provide the following indicative data based on our regular activity and operations

- Funeral Services ; On average, we host between 3-4 funeral services per week
- Funeral Attendance; Funeral attendance generally ranges from 10 to 100 attendees per service with most visitors arriving in private vehicles.
- Traffic Generation per Service; On a typical funeral day, we observe approximately 3-30 vehicle movements associated with each service
- Visiting Hours Traffic; Outside of scheduled services, the cemetery receives approximately 5-20 visitors per day, primarily on weekends and public holidays, with lower volumes mid-week, generally spaced through the day.
- Peak Periods; Traffic volumes increase slightly during culturally significant dates and public holidays (e.g., Christmas, Easter), though still remain within manageable levels in terms of on-site circulation and surrounding road network impact.
- Parking Impacts. We note that there is no demand for parking on Uniting Lane created by the local neighbourhood, with the relevant neighbours and their parking demands summarised below;

- Calabria Club, an Italian community centre, has ample on-site parking and whose patrons have never been observed to park on Uniting Lane.

- Melbourne Airport's solar panel farm faces Uniting Lane, and has almost zero parking needs.

needs.

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Bulla Cemetery Trust – PO Box 27 DIGGER REST VIC 3427

Ph: 0480 140 513

e: [admin@bullacemeterytrust.com.au](mailto:admin@bullacemeterytrust.com.au)

- Uniting Church on 1 Uniting Lane Bulla, which was sold to private owners in 2011 and we understand has not operated as a Church since that time, resulting in almost zero observed parking impact on Uniting Lane.

These figures are based on our operational experience and anecdotal observation, and are intended to offer a general understanding of expected vehicle movements to and from a comparable cemetery facility.

Should further clarification be required, we would be pleased to assist the traffic engineer or relevant authority with additional information.

Yours sincerely,



Patrick Reddan

Chairperson

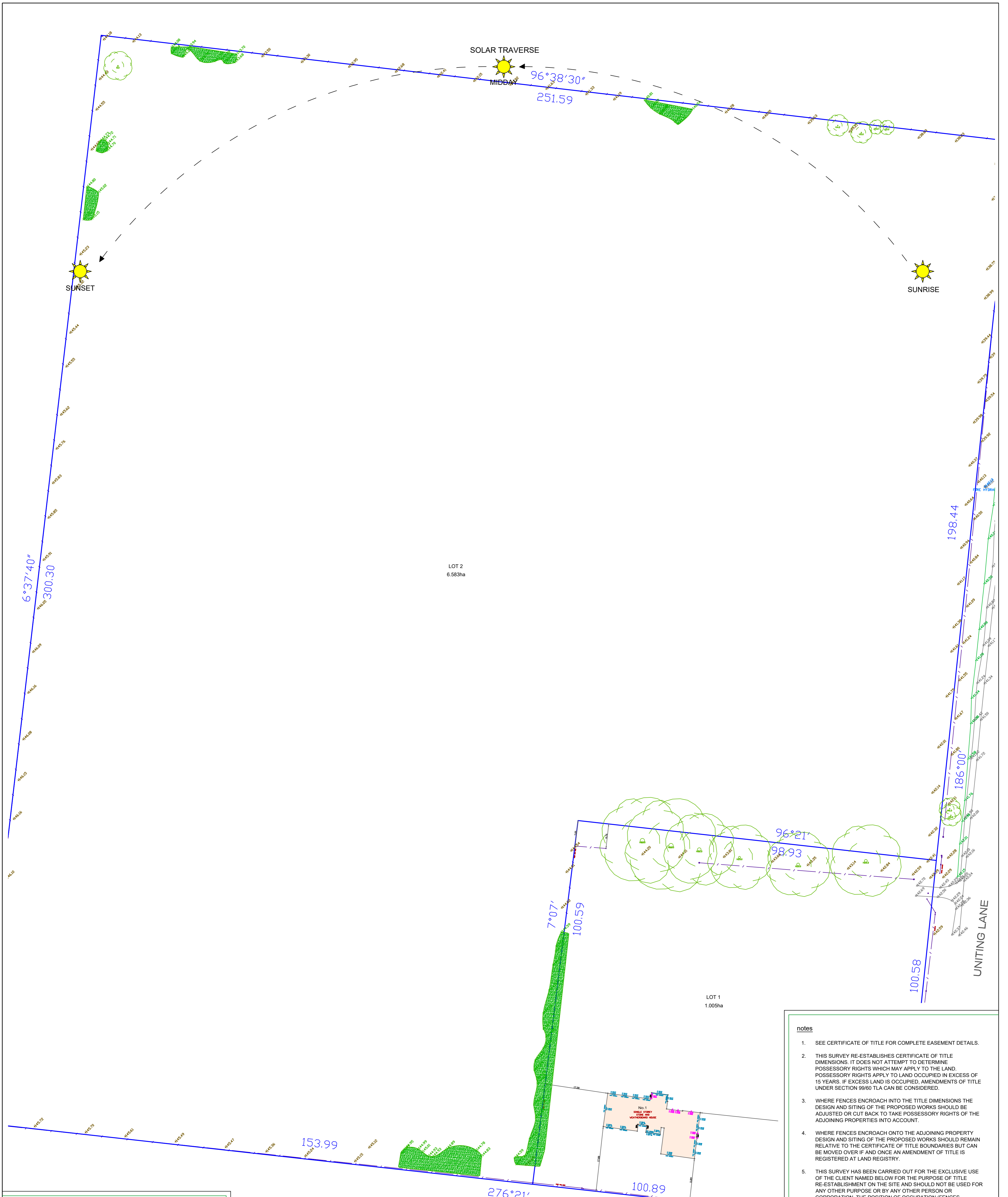
Bulla Cemetery Trust

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Bulla Cemetery Trust – PO Box 27 DIGGER REST VIC 3427

Ph: 0480 140 513

e: [admin@bullacemeterytrust.com.au](mailto:admin@bullacemeterytrust.com.au)



- notes**
- SEE CERTIFICATE OF TITLE FOR COMPLETE EASEMENT DETAILS.
  - THIS SURVEY RE-ESTABLISHES CERTIFICATE OF TITLE DIMENSIONS. IT DOES NOT ATTEMPT TO DETERMINE POSSESSORY RIGHTS WHICH MAY APPLY TO THE LAND. POSSESSORY RIGHTS APPLY TO LAND OCCUPIED IN EXCESS OF 15 YEARS. IF EXCESS LAND IS OCCUPIED, AMENDMENTS OF TITLE UNDER SECTION 99(6) TLA CAN BE CONSIDERED.
  - WHERE FENCES ENCR OACH INTO THE TITLE DIMENSIONS THE DESIGN AND SITING OF THE PROPOSED WORKS SHOULD BE ADJUSTED OR CUT BACK TO TAKE POSSESSORY RIGHTS OF THE ADJOINING PROPERTIES INTO ACCOUNT.
  - WHERE FENCES ENCR OACH ONTO THE ADJOINING PROPERTY DESIGN AND SITING OF THE PROPOSED WORKS SHOULD REMAIN RELATIVE TO THE CERTIFICATE OF TITLE BOUNDARIES BUT CAN BE MOVED OVER IF AND ONCE AN AMENDMENT OF TITLE IS REGISTERED AT LAND REGISTRY.
  - THIS SURVEY HAS BEEN CARRIED OUT FOR THE EXCLUSIVE USE OF THE CLIENT NAMED BELOW FOR THE PURPOSE OF TITLE RE-ESTABLISHMENT ON THE SITE AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE OR BY ANY OTHER PERSON OR CORPORATION. THE POSITION OF OCCUPATION (FENCES, BUILDINGS ETC) SHOWN NEAR BOUNDARIES ARE NOT NECESSARILY PLOTTED TO SCALE AND IN MOST INSTANCES THEIR POSITIONS HAVE BEEN EXAGGERATED FOR CLARITY.
  - PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SUBJECT SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ASCERTAIN THE POSSIBLE LOCATIONS OF FURTHER SERVICES NOT SHOWN ON SURVEY AND DETAILED LOCATIONS OF ALL SERVICES.
  - ALL DATA SHOWN ON THIS PLAN IS AN ACCURATE REPRESENTATION OF THE SUBJECT SITE AT THE TIME OF SURVEY. THIS DATA CANNOT BE SUBJECT TO COPYING OR MANIPULATION WITHOUT THE CONSENT OF STACEY SURVEYING.
  - WE HAVE MADE EVERY EFFORT TO LOCATE ALL VISIBLE FEATURES, HOWEVER WE ARE NOT RESPONSIBLE FOR ANY HIDDEN OR BURIED FEATURES THAT WERE NOT LOCATED.
  - TREE DIMENSIONS ARE AN APPROXIMATION ONLY AND ONLY SIGNIFICANT TREES WITH HEIGHT ABOVE 3M ARE SHOWN.
  - NOTHING IN THIS AGREEMENT CONSTITUTES A TRANSFER, ASSIGNMENT OR RIGHT TO REPRODUCE MATERIAL PREPARED BY STACEY SURVEYING (VIC) PTY LTD.

**CERTIFICATION BY SURVEYOR**

I, David Stringer of 425 Maroondah Hwy VIC 3136 certify that this plan has been prepared in accordance with the Surveying Act 2004 and that this plan is accurate to the best of my knowledge and belief and that the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015

**scale 1:500**  
1cm on plan represents 5.00m on ground

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plan updates description	field date	processing date	surveyor/draftsperson	file name

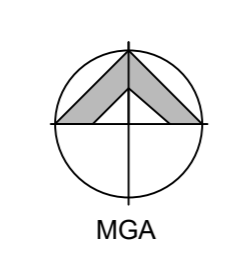
**legend**

- TREE WITH HEIGHT OF 4M
- NON-HABITABLE WINDOW HEAD (H) HEIGHT OF 12.45 SILL (S) HEIGHT OF 11.04
- HABITABLE TOP STOREY WINDOW
- NON-HABITABLE LOWER STOREY WINDOW
- CONTOUR LINE WITH HEIGHT OF 9.0 METERS
- LEVEL WITH VALUE THUS 14.16

surveyors s.madden  
draftsperson r.lo.pizzo 04/12/25  
checked d.stringer 05/12/25  
levels AHD ± 20mm  
contours 0.2m 1m index

LEVELS ARE TO AHD WIDE TULLAMARINE PM 58 WITH A STATED RL: 143.200 AHD

ORIGINAL SHEET SIZE A1 - SHEET 1 OF 1



**FEATURE & LEVEL, RE-ESTABLISHMENT**  
**120 SUNBURY ROAD, BULLA**

LOT 1 ON PS 923586 T | VOL. 12608 FOL. 159  
LOT 2 ON PS 923586 T | VOL. 12608 FOL. 160  
HUME CITY COUNCIL

REFERENCE: 1073102  
DATE: 26/11/2025  
CLIENT: GEORGE GABRIEL

# STACEY SURVEYING LEGEND SHEET

## SURVEY MARKS

- 001 - PM
- 002 - TBM
- 003 - Title Peg
- 005 - Etch
- 006 - Rivet
- 007 - Stake
- 008 - Nail
- 009 - Pipe
- 010 - Star Picket
- 011 - Mickey Pin
- 100 - Spike

## RELIEF LAYERS

- 101 - Contour Breakline
- 102 - Top of Bank
- 103 - Toe of Bank
- 104 - Spot Level
- 105 - Change in Grade
- 106 - Hole
- 107 - Floor Level
- 108 - Fence HT

## VEGETATION LAYERS

- 201 - Tree
- 202 - Plantation
- 203 - Group of Trees
- 204 - Hedge
- 205 - Edge of Garden
- 206 - Edge of Lawn

## DRAINAGE / PONDAGE LAYERS

- 301 - Spoon Drain
- 302 - Watercourse
- 303 - Edge of Water
- 304 - Conc. Pipe
- 305 - Box Culvert
- 306 - UG Drain
- 307 - Wing\_End Wall
- 308 - Side Entry Pit
- 309 - Grated Pit
- 310 - Drainage Pit
- 311 - Property Outlet
- 312 - Property Inlet
- 313 - Open Earth Drain
- 314 - Conc. Open Drain
- 315 - BS Open Drain
- 316 - Bit. Open Drain
- 317 - Pond
- 318 - Pool
- 319 - Dam
- 320 - Lake
- 321 - Ocean
- 322 - Water Tank
- 323 - Water Line
- 324 - High Water Line
- 325 - Water Tank

## ROAD LOCATION LAYERS

- 401 - CL Bitumen
- 402 - Spot on Bit.
- 403 - Edge of Bit.
- 404 - CL of Formation
- 405 - Edge of Formation
- 406 - Lip of Kerb
- 407 - Invert of Kerb
- 408 - Back of Kerb
- 409 - Top of Kerb
- 410 - Path
- 411 - Edge of Concrete
- 412 - Track
- 413 - Road
- 414 - X-Over
- 415 - Raised Conc. Kerb
- 416 - Island
- 417 - Roundabout
- 418 - BS X-Over
- 419 - Gravel X-Over
- 420 - Bit. X-Over
- 421 - Bluestone
- 422 - Gravel
- 423 - Paving
- 424 - Inv. BS Kerb
- 425 - Inv. BS Pitcher Kerb
- 426 - Inv. Rollover Kerb
- 427 - Inv. SM Kerb
- 428 - Cattle Grid
- 429 - Dashed Line
- 430 - Solid Line
- 431 - Double Lines
- 432 - Speed Bump
- 433 - Road Lines
- 434 - Bore Hole

## BUILDING AND STRUCTURE LAYERS

- 601 - House
- 602 - Minor Building/Top Floor
- 603 - Major Building
- 604 - Pergola
- 605 - Bridge Abutment
- 606 - Bridge Edge
- 607 - Bridge Understructure
- 608 - Bridge Pier
- 609 - Retaining Wall
- 610 - Brick Column
- 611 - Steel Column
- 612 - Concrete Column
- 613 - Eave
- 614 - Stone Ret. Wall
- 615 - Sleeper Ret. Wall
- 616 - Conc. Ret. Wall
- 617 - Bollard
- 618 - Brick Garage
- 619 - Galv. Garage
- 620 - GI Shed
- 621 - Carport
- 622 - Porch
- 623 - Verandah
- 624 - Ramp
- 625 - Steps
- 626 - Door
- 627 - Hab Window
- 628 - Top of Gutter
- 629 - Downpipe
- 630 - Roof
- 631 - Ridge
- 632 - Deck
- 633 - Balcony
- 634 - Ceiling
- 635 - Solar Panel
- 636 - Chimney
- 637 - W 1st Floor
- 638 - W 2nd Floor
- 639 - W 3rd Floor
- 640 - Corbel
- 641 - Window
- 650 - Parapet
- 660 - App. GFL Build
- 661 - App. 1stFL Build
- 662 - App. Minor Build
- 663 - App. Major Build
- 672 - Non-Hab Window

## FUEL STATION LAYERS

- 701 - Tank Dip-Fill
- 702 - Bowser
- 703 - Tank Valve
- 705 - Air Compressor
- 706 - Ventpipes
- 707 - Carwash
- 708 - Autogas Tank
- 709 - Gas Tank Valve

## ELECTRICITY LAYERS

- 710 - Stay Wire
- 711 - Street/Flood Light
- 712 - Elec Pole
- 713 - Elec Pole w Light
- 714 - Elec Tower
- 715 - Elec Pit
- 716 - Bollard w Light
- 717 - Elec Box
- 718 - Overhead Power
- 719 - Elec Conduit
- 720 - Elec Unclass.

## TELCO LAYERS

- 721 - Telco Pit
- 722 - Telco Pillar
- 723 - Telco Marker Post
- 724 - Telco Pole
- 725 - Phone Box
- 726 - Telco Box
- 727 - Telco Conduit
- 728 - Telco Unclass.

## GAS AND FUEL LAYERS

- 731 - Gas Unclass.
- 732 - G/F Marker Post
- 733 - Gas Marker Post
- 734 - Gas Meter
- 735 - Gas Tank
- 736 - Gas Pipe
- 737 - Gas Pit

## SEWER LAYERS

- 741 - Sewer Pit Lid
- 742 - Sewer Inspection Shaft
- 743 - Sewer Vent
- 744 - Grease Pit
- 745 - Sewer Pump
- 746 - Septic Tank
- 747 - Sewer Unclass.

## WATER LAYERS

- 750 - Water Unclass.
- 751 - Stop Valve
- 752 - Fire Plug
- 753 - Fire Hydrant
- 754 - Water Meter
- 755 - Water Bore
- 756 - Water Pump
- 757 - Water Marker Post
- 758 - Fire Hose
- 759 - Water Tank
- 760 - Water Tower
- 761 - Water Tap

## UNCLASSIFIED UTILITY LAYERS

- 762 - Unclass. Pit
- 763 - Unclass. Pole
- 764 - Unclass. Utility 1
- 765 - Unclass. Utility 2

## TRANSPORTATION LAYERS

- 801 - Rail Line
- 802 - Boom Gate
- 803 - Rail Sig Pole
- 804 - Rail Sig Box
- 805 - Stauchion
- 806 - Buffer
- 807 - Tramways Pole
- 808 - Tram Overhead Wires
- 809 - Safety Zone Island
- 810 - Tram/Bus Stop Pole
- 811 - Tram/Bus Shelter
- 812 - Rail Switch

## LOCATED U/G SERVICES LAYERS

- 820 - UG Telco
- 821 - UG Sewer
- 822 - UG Storm
- 823 - UG Gas
- 824 - UG Electricity
- 825 - UG Comms
- 826 - UG Water
- 827 - UG Fibre
- 828 - UG HV Power
- 829 - UG Irrigation

## APPROX. U/G SERVICES LAYERS

- 840 - Approx. Elec
- 841 - Approx. Water
- 842 - Approx. Gas
- 843 - Approx. Sewer
- 844 - Approx. Telco

## BOUNDARY LAYERS

- 900 - Map Base Boundaries
- 901 - Title Boundaries
- 902 - Street Connection
- 902A - Neighbouring Titles
- 950 - Easements

## FENCING LAYERS

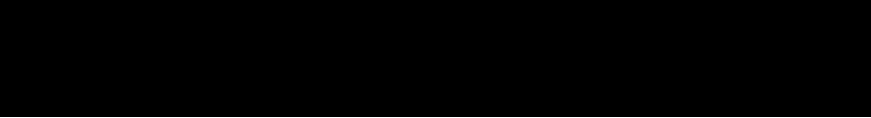
- 903 - Fence Unclass.
- 904 - Gate
- 905 - Palings
- 906 - Brick
- 907 - Bluestone
- 908 - Galv. Iron
- 909 - Metal Sheet
- 910 - Weld Mesh
- 911 - Pickets
- 912 - Vertical Boards
- 913 - Horizontal Boards
- 914 - Diagonal Boards
- 915 - Hardieplank
- 916 - Ti-Tree
- 917 - Wrought Iron on Brick
- 918 - Steel Pickets on Brick
- 919 - Low Woven Wire
- 920 - High Woven Wire
- 921 - Post and Wire
- 922 - Post and Rail
- 923 - Post and Ringlock
- 924 - Post and Sheepnet
- 925 - Post and Netting
- 926 - Post
- 927 - Stone
- 928 - Lattice

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- 501 - Sand Pit
- 502 - Letter Box
- 503 - Traffic Signal
- 504 - Letter Box
- 505 - Traffic Signal
- 506 - Traffic Signal Box
- 507 - Traffic Signal Pit
- 508 - Emergency Phone
- 509 - Rubbish Bin
- 510 - Bench
- 511 - Ped. Xing



15 June 2026




Planning & Development, Hume City Council  
1079 Pascoe Vale Road, Broadmeadows VIC 3047

**RE: P26826 – 120 Sunbury Road, Bulla – Proposed New Bulla Cemetery  
Response to Second RFI (Council email dated 28 April 2026)**



Dear 

Thank you for your email of 28 April 2026 conveying the departmental referral comments for the above application, and for your subsequent clarification on the landscape items provided on 22 May 2026.

We are pleased to provide our formal response to all outstanding matters below.



Updated drawings and the  traffic engineering advice letter are enclosed with this correspondence. We respectfully request that Council proceed to advertising at the earliest opportunity.

## ENCLOSURES

- **Bulla Cemetery Concept Masterplan — Drawing Package (12 sheets)**, Revision 04–08 (as applicable per sheet), dated 13 June 2026, prepared by 
- **Traffic Engineering Advice Letter G36961L-01A**, dated 18 May 2026, prepared by  (including Appendix A — Swept Path Plans)

## 1. TRAFFIC DEPARTMENT

This copied Council Traffic Department file for the sole purpose of enabling its use in the Traffic Engineering Assessment (G36961R-01B) showed the MRV process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.

We refer Council to the enclosed  advice letter G36961L-01A (18 May 2026). The following is a summary of 's response to each item raised:

**Item 1–3 — Internal road geometry, crossover, and MRV navigation**

All corner radii throughout the site have been revised to provide broader curves to accommodate the 8.8m Medium Rigid Vehicle (MRV) in accordance with AS2890.2-2018. Updated swept path assessments have been prepared using a turning template based on the MRV at 5km/h, with a 6-second lock-to-lock time and 500mm clearance envelope, addressing all parameters specified at items (a)–(l) of Council’s RFI. The swept path plans are attached at Appendix A of G36961L-01A and demonstrate satisfactory one-way circulation. Traffic confirms that vehicles can safely manoeuvre to and from the site without impacting the nature strip.

**Item 4 — Full AS/NZS 2890.1:2004 swept path compliance**

All swept path parameters required by Council’s RFI (items a–l) have been addressed. Swept paths for all four internal corners (NW, NE, SW, SE) are provided at Appendix A of G36961L-01A.

**Item 5 — Visibility splay notation**

The notation “Any structure or landscaping within visibility splays of driveway (2.0m along front boundary & 2.5m into property) must be no greater than 900mm in height” has been added to the Master Plan (Sheet 2, Rev 08), Landscape Plan – Hardscape (Sheet 3, Rev 03), and Landscape Plan – Softscape (Sheet 4, Rev 02).

**Road markings — TWO WAY / ONE WAY**

Directional road markings (TWO WAY and ONE WAY) have been added to the Master Plan (Sheet 2, Rev 08) and Dimension Plan (Sheet 5, Rev 04), consistent with the internal circulation arrangement. The two-way treatment of the south-east parking access section is clearly marked. [redacted] confirms these markings can also be addressed as a condition of permit if preferred by Council.

**Bicycle hoop spacing**

[redacted] notes that confirmation of compliance with AS2890.3 minimum spacing for bicycle hoops can be readily addressed as a condition of permit. We are content for this to be handled in this way.

Overall, [redacted] Group is satisfied that the car parking arrangements and accessway layout are appropriate.

**2. LANDSCAPE DEPARTMENT**

**Item 1 — Canopy trees to car parking (minimum 1 per 6 spaces)**

[redacted] have annotated the Landscape Plan – (Sheet 4, Rev 02) to explicitly call out the eight existing mature Sugar Gum trees for the car parking area, with a specific canopy height of 5m as the shade trees for the car parking area is served by these eight established canopy trees, satisfying the 1-per-6-spaces requirement. The permeable pavement treatment (42.3 sqm) within the parking area further supports long-term tree health and canopy development. The Landscape Plan – Hardscape (Sheet 3, Rev 03) has also been

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updated to reduce the number of parking bays and create garden bed spacing between bays to support root zones.

### **Item 2 — Canopy coverage between interment lots**

Following Council’s clarification that continuous canopy trees within the 2.4m walkways are not required given operational access constraints, and that “some form of planting between the grouped interment lots” would satisfy the intent, we have provided 83 nos Lomandra longifolia grasses within the interment precinct walkways as softscape between lots. Pyrus calleryana Capital trees (114 nos total across the site) are distributed at walkway entry points to each precinct, providing canopy at precinct boundaries consistent with Council’s guidance. This approach mirrors the intent of the Fawkner Memorial Cemetery reference provided by Council. A final detailed Landscape Masterplan can be provided as a permit condition.

### **Item 3 — Canopy trees to north and west of Information Centre**

As confirmed in Council’s 22 May 2026 email, Council is satisfied with the solution provided. Four Eucalyptus leucoxylon Euky Dwarf specimens are shown to the north and west of the Information Centre on the Master Plan (Sheet 2, Rev 08) and Landscape Plan – Softscape (Sheet 4, Rev 02).

### **Items 4 & 5 — Landscape screening and canopy along Uniting Lane**

As confirmed in Council’s 22 May 2026 email, tree planting along Uniting Lane is anticipated to sufficiently address items 4 and 5. The Landscape Plan – Softscape (Sheet 4, Rev 02) shows Pyrus calleryana Capital trees along the full Uniting Lane frontage: 25 nos adjacent to the north-east corner and detention pond area, and 7 nos along the mid-section, interspersed with continuous Lavandula angustifolia border planting within the existing 3m landscape buffer. This provides a planted streetscape treatment along the entirety of the Uniting Lane boundary.

## **3. STRATEGIC PLANNING DEPARTMENT**

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The notation “Building to incorporate appropriate noise attenuation measures including double glazing to windows and roof insulation in accordance with the Melbourne Airport Environs Overlay requirements” has been added to the Master Plan (Sheet 2, Rev 08), Landscape Plan – [REDACTED] (Sheet 4, Rev 02), Information Centre Details – Plan View (Sheet 11, Rev 01), and Information Centre Details – Sectional Elevation (Sheet 12, Rev 01).

## **4. DEPARTMENT OF TRANSPORT AND PLANNING (DTP)**

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Council’s email of 22 May 2026 confirmed DTP raised no objections. No further response is required.

## **5. ESD DEPARTMENT**

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Council’s email of 22 May 2026 confirmed the ESD Department raised no objections, subject to conditions. No further response is required.

## **SUMMARY OF RFI COMPLIANCE**

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For Council's convenience, the following table summarises the status of each RFI item:

**Traffic:** All items addressed — updated swept paths (G36961L-01A Appendix A), revised corner radii, visibility splay notation added to three sheets, road markings added to Master Plan and Dimension Plan.

**Landscape 1:** Sugar gum trees annotated with Cl.52.06-9 Design Standard 7 reference; permeable paving and reduced parking bays shown.

**Landscape 2:** Lomandra longifolia (83 nos) between interment lots; Pyrus calleryana at precinct entry points.

**Landscape 3:** Euky Dwarf trees shown north/west of Information Centre — confirmed satisfactory by Council.

**Landscape 4 & 5:** Pyrus calleryana (32 nos) along full Uniting Lane frontage — confirmed satisfactory by Council.

**Strategic Planning:** Noise attenuation notation added to four sheets.

**DTP:** No objections — no action required.

**ESD:** No objections subject to conditions — no action required.

## REQUEST TO PROCEED TO ADVERTISING

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All matters raised in the second RFI have now been addressed. The application has been before Hume City Council since July 2025 and has been subject to two rounds of RFI. We are confident the enclosed materials fully resolve all outstanding departmental comments.

We respectfully request that Council proceed to the advertising stage as soon as possible. Given the extended timeframe of the application to date, we would appreciate confirmation of the anticipated advertising commencement date and the overall timeline to determination.

Should Council identify any further matters arising from review of the enclosed documents, we request the opportunity to address these promptly to avoid further delay.

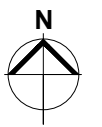
Please do not hesitate to contact me on [REDACTED] if you require any further information.

Yours sincerely,

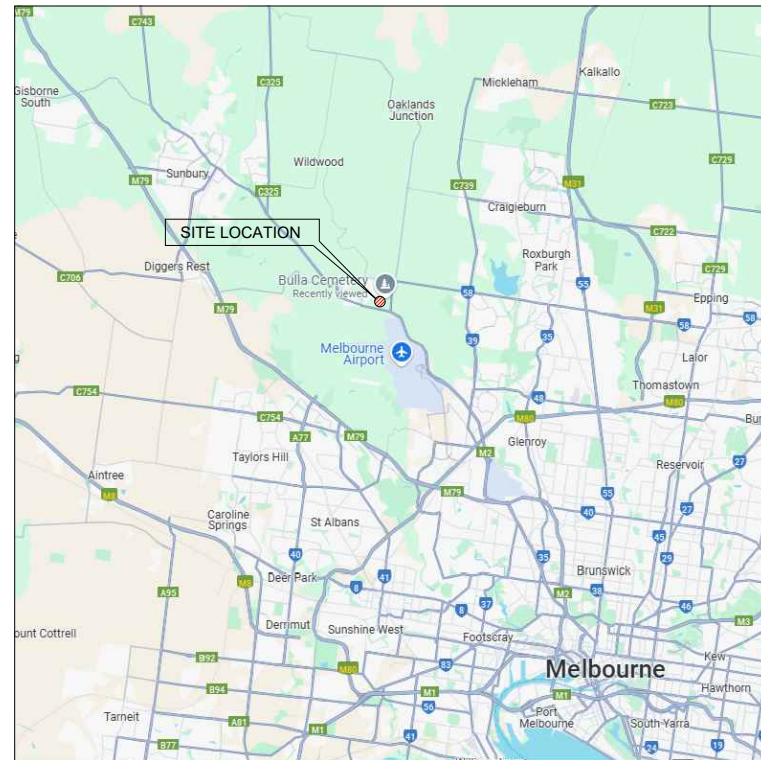
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# CEMETERY CONCEPT PLAN DESIGN FOR 15 ACRES IN MELBOURNE LOCATED AT 120 SUNBURY RD, BULLA VIC 3428, AUSTRALIA

NORTH POINT:

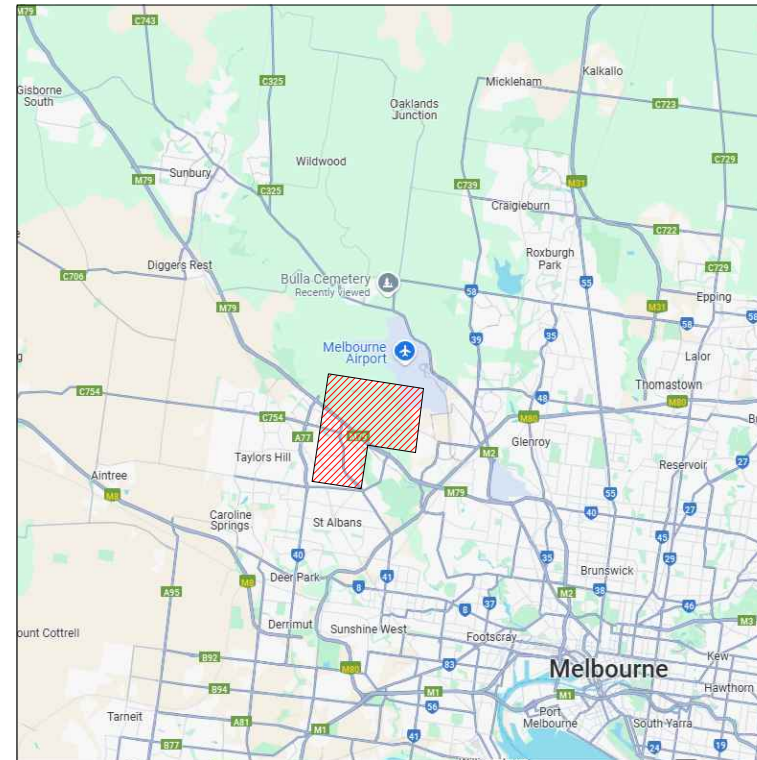


NOTES:



KEY PLAN

NTS



LOCATION PLAN

NTS

## LIST OF DRAWINGS

NO.	TITLE	DRAWING. REF	REV.
1	LIST OF DRAWINGS	FRL/UW/C/CP/01	04
2	MASTER PLAN	FRL/UW/C/MP/01	08
3	LANDSCAPE PLAN - HARDSCAPE	FRL/UW/C/LP/HL/01	03
4	LANDSCAPE PLAN - SOFTSCAPE	FRL/UW/C/LP/SL/01	02
5	DIMENSION PLAN	FRL/UW/C/DP/01	04
6	ZONING PLAN	FRL/UW/C/ZP/01	03
7	DRAINAGE PLAN	FRL/UW/C/DP/01	02
8	LANDSCAPE PLAN - HARDSCAPE DETAILS	FRL/UW/C/LP/HL/01	01
9	LANDSCAPE PLAN - SOFTSCAPE DETAILS	FRL/UW/C/LP/HL/02	00
10	LANDSCAPE PLAN - SIGNAGE DETAILS	FRL/UW/C/LP/HL/03	00
11	INFORMATION CENTRE DETAILS - PLAN VIEW	FRL/UW/C/IC/01	01
12	INFORMATION CENTRE DETAILS - SECTIONAL ELEVATION	FRL/UW/C/IC/02	01

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NO.	DATE	REVISION
1	25/6/25	AMENDED LAYOUT
2	3/7/25	AMENDED LAYOUT
3	7/2/26	ADJUSTED LIST
4	10/4/26	CHANGE OF NAME & REVISIONS
5	13/6/26	LANDSCAPE UPDATED PER COUNCIL RFI - TREES, ROAD MARKINGS, NOISE NOTATION ADDED

PROJECT TITLE:  
CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:  
LIST OF DRAWINGS

ORIGINAL PAPER SIZE

A3

CURRENT LAND USE:

PUBLIC OPEN SPACE

PROPOSED LAND USE:

PUBLIC USE ZONE - CEMETERY (PUZ5)

SIZE OF PROPOSED AREA:

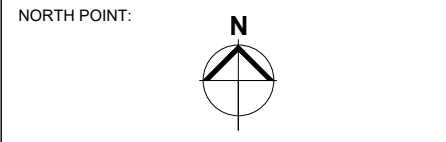
6.583 HECTARE

LEGEND		
	3.5m wide hot mix asphalt paving laid to 50mm thickness over 150mm compacted crusher run	4344 sqm
<b>Walkway</b>	2.4m compacted crusher run gravel to LA's detail	20167 sqm
	Grass soil mix (GSM) to LA's detail	5232 sqm
	Crush rock run to LA's detail	780 sqm
	Car parking to engr's detail based on each functions and positions	32 nos

	Interment plots (1.2m x 2.4m)	11 594 nos
	Memorial gazebo to LA's detail	1 nos
	Columbarium with 5 Niche Panel to LA's detail	1 set
	Proposed signage "New Bulla Cemetery" to LA's approval & engr's detail	1 nos
	Industrial waste bin with color code (Red, Yellow, Green), each with its own purposes	1 set
	Sedimentation /Detention pond to NFK Civil's detail	328 sqm/ 927 sqm

TOILET		
	Comprising 3 standard toilets, 3 shower areas, 1 changing room, and 1 disabled-friendly toilet	4 set
	Permeable pavement to LA's detail	42.3 sqm
	Bioswale drainage to LA's detail	193 sqm
	Curved stainless steel bicycle hoops	12 nos
	Perimeter tale drain to engr's detail	1512 m
	Grassed channel/walkway to engr's detail	3941 m
	Drainage pipe outlet to engr's detail	refer NFK

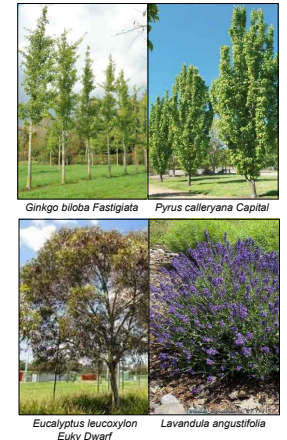
SOFTSCAPE		
	Existing sugar gum tree to remain	8 nos
	<i>Ginkgo biloba 'Fastigiata'</i>	29 nos
	<i>Pyrus calleryana Capital</i>	114 nos
	<i>Eucalyptus leucoxylon Euky Dwarf</i>	11 nos
	<i>Lavandula angustifolia</i>	937 nos
	<i>Lomandra longifolia</i>	83 nos



NOTES:  
ANY STRUCTURE OR LANDSCAPING WITHIN VISIBILITY SPLAYS OF DRIVEWAY (2.0M ALONG FRONT BOUNDARY & 2.5M INTO PROPERTY) MUST BE NO GREATER THAN 900MM IN HEIGHT.

BUILDING TO INCORPORATE APPROPRIATE NOISE ATTENUATION MEASURES INCLUDING DOUBLE GLAZING TO WINDOWS AND ROOF INSULATION IN ACCORDANCE WITH THE MELBOURNE AIRPORT ENVIRONS OVERLAY REQUIREMENTS.

INTERMENT PLOTS	
A	954 nos
B	961 nos
C	961 nos
D	961 nos
E	933 nos
F	602 nos
G	1174 nos
H	1197 nos
I	852 nos
J	1702 nos
K	1279 nos
<b>TOTAL</b>	<b>11 594 nos</b>



NO.	DATE	REVISION
4	3/7/2025	AMEND PARKING SIZES
5	23/11/2025	VEHICLE PASSING BAY
6	7/2/2026	WIDEN ROAD TO 3500MM
7	10/4/2026	ADDED RETENTION POND AS PER NFK CIVIL SMP. CORNER ANGLE ADJUSTED AS PER TRAFFIC REPORT
8	13/6/2026	LANDSCAPE UPDATED PER COUNCIL RFI - TREES, ROAD MARKINGS, NOISE NOTATION ADDED

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE**

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

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DRAWING TITLE:  
**MASTER PLAN**

SCALE: 1:1300      DATE: 13/6/2026

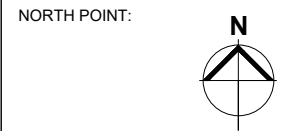
DRAWING REF.      REVISION  
FRL/UW/C/MP/01      **08**

LEGEND

	3.5m wide hot mix asphalt paving laid to 50mm thickness over 150mm compacted crusher run	4344 sqm
<b>Walkway</b>	2.4m compacted crusher run gravel to LA's detail	20167 sqm
	Grass soil mix (GSM) to LA's detail	5232 sqm
	Crush rock run to LA's detail	780 sqm
	Car parking to engr's detail based on each functions and positions	32 nos

	Interment plots (1.2m x 2.4m)	11 594 nos
	Memorial gazebo to LA's detail	1 nos
	Columbarium with 5 Niche Panel to LA's detail	1 set
	Proposed signage "New Bulla Cemetery" to LA's approval & engr's detail	1 nos
	Industrial waste bin with color code (Red, Yellow, Green), each with its own purposes	1 set

<b>Toilet</b>	Comprising 3 standard toilets, 3 shower areas, 1 changing room, and 1 disabled-friendly toilet	4 set
	Permeable pavement to LA's detail	42.3 sqm
	Bioswale drainage to LA's detail	193 sqm
	Curved stainless steel bicycle hoops	12 nos
	Sendimentation /Detention pond to NFK Civil's detail	328 sqm/ 927 sqm



NOTES:  
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 BUILDING TO INCORPORATE APPROPRIATE NOISE ATTENUATION MEASURES INCLUDING DOUBLE GLAZING TO WINDOWS AND ROOF INSULATION IN ACCORDANCE WITH THE MELBOURNE AIRPORT ENVIRONS OVERLAY REQUIREMENTS.

INTERMENT PLOTS

A	954 nos
B	961 nos
C	961 nos
D	961 nos
E	933 nos
F	602 nos
G	1174 nos
H	1197 nos
I	852 nos
J	1702 nos
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<b>TOTAL</b>	<b>11 594 nos</b>



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PROPOSED SIGNAGE "NEW BULLA CEMETERY" TO DETAIL (4m x 4m front)

NO.	DATE	REVISION
1	7/2/26	CHANGE OF ROAD WIDTH
2	10/4/26	ADJUST ROAD CORNER TO FOLLOW TRAFFIC ENGR COMMENT
3	13/6/26	REDUCED PARKING TO ALLOW TREES IN BETWEEN

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
 DESIGN FOR 15 ACRES IN  
 MELBOURNE**  
 LOCATED AT 120 SUNBURY RD,  
 BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:  
**LANDSCAPE PLAN  
 - HARDSCAPE**

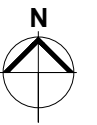
SCALE: 1:1300      DATE: 13/6/2026

DRAWING REF.      REVISION  
 FRL/UW/C/LP/HL/01      **03**

SOFTSCAPE

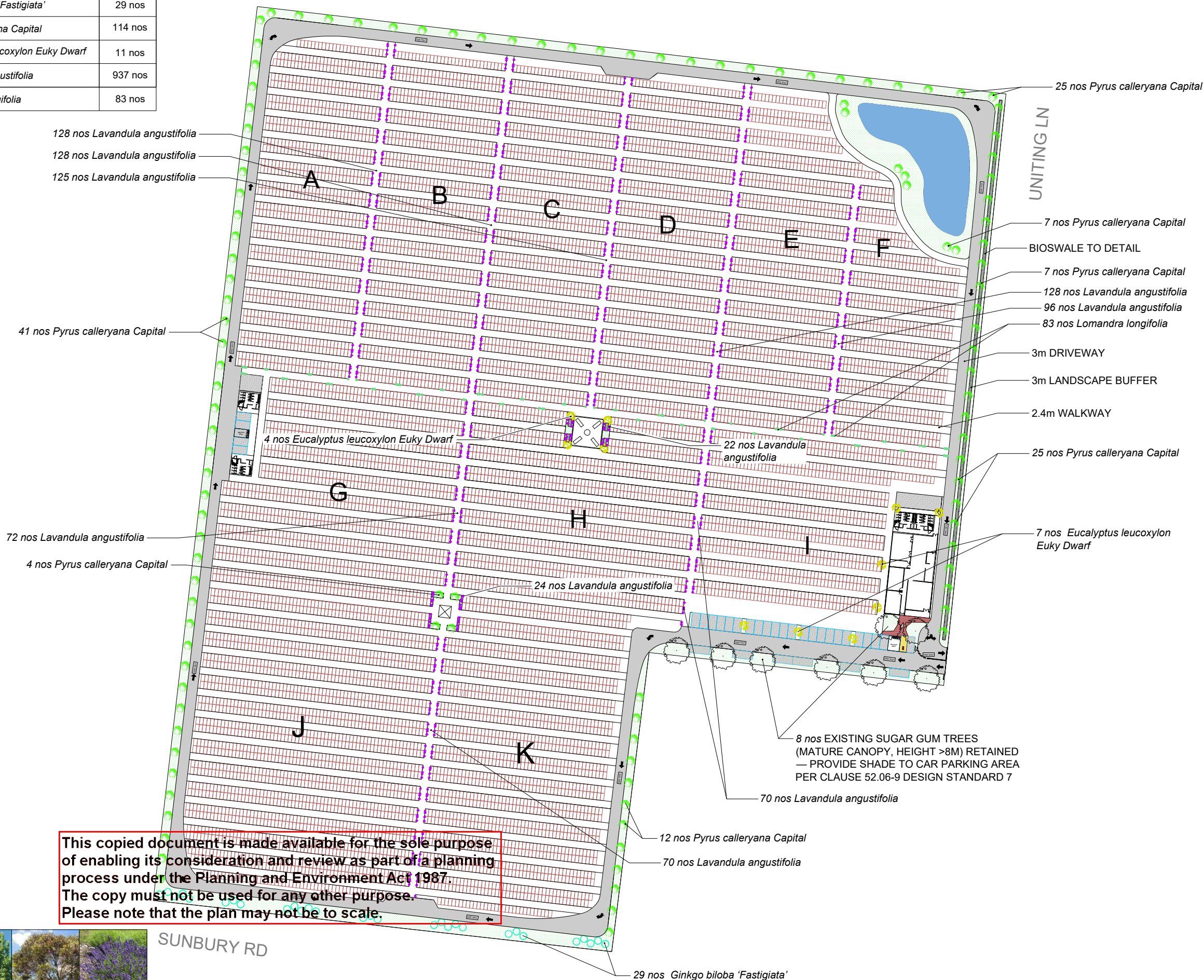
	Grass soil mix (GSM) to LA's detail	5232 sqm
	Existing sugar gum tree to remain	8 nos
	<i>Ginkgo biloba</i> 'Fastigiata'	29 nos
	<i>Pyrus calleryana</i> Capital	114 nos
	<i>Eucalyptus leucoxylon</i> Euky Dwarf	11 nos
	<i>Lavandula angustifolia</i>	937 nos
	<i>Lomandra longifolia</i>	83 nos

NORTH POINT:



NOTES:

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NO.	DATE	REVISION
1	10/4/26	ADDED TREES NEAR POND AREA
2	13/6/26	ADDED MORE TREES & SHRUBS AS PER RFIs

PROJECT TITLE:  
CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:  
LANDSCAPE PLAN  
- SOFTSCAPE

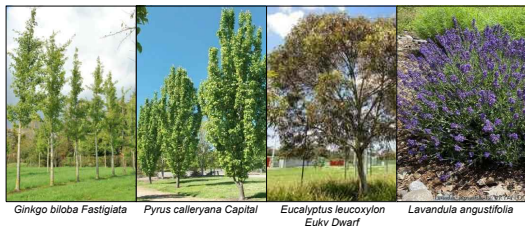
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DATE: 13/6/2026

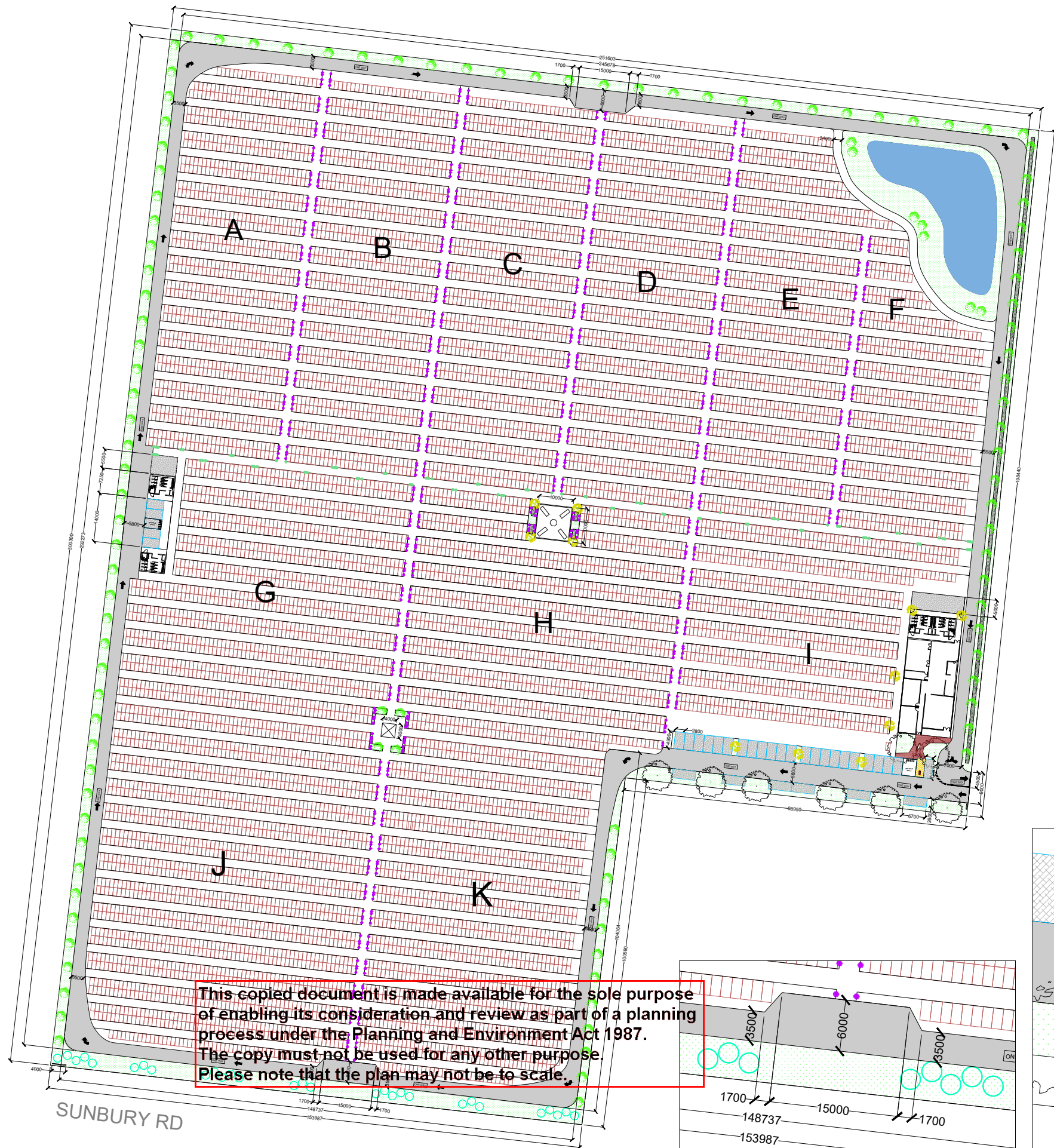
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FRL/UW/C/LP/SL/01

REVISION

02



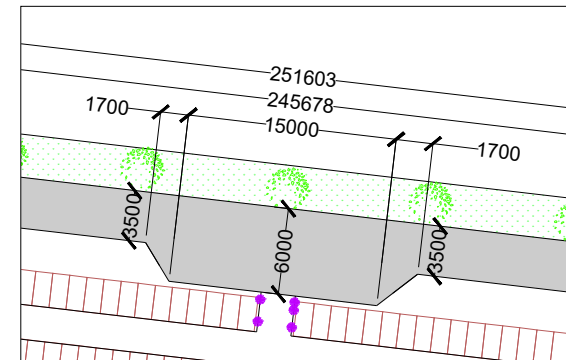
SUNBURY RD



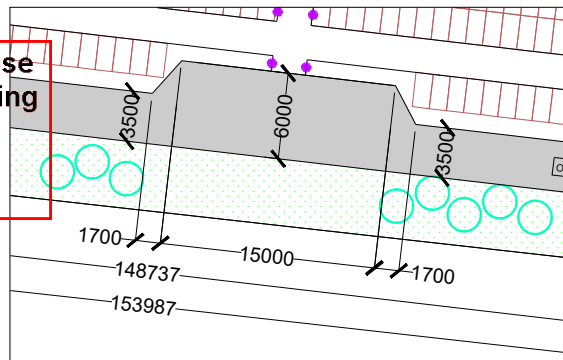
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SUNBURY RD

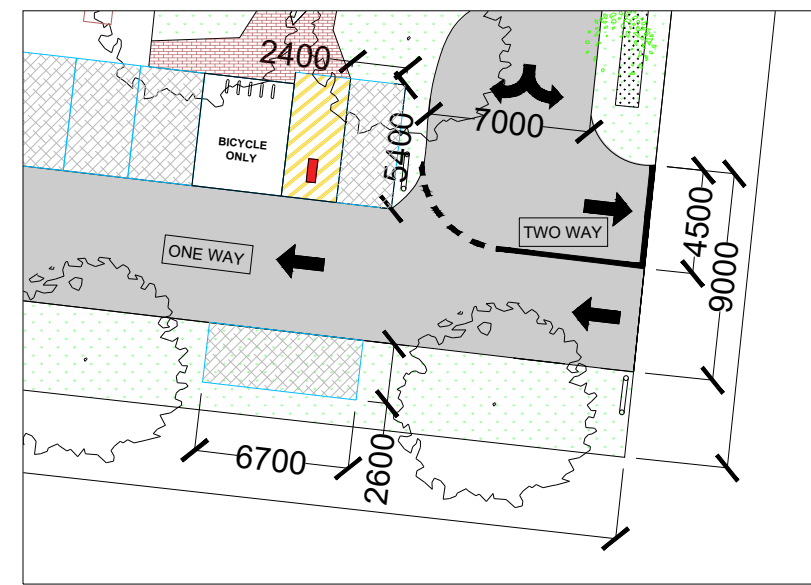
UNITING LN



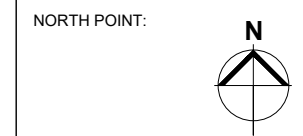
C ENLARGEMENT PASSING BAY NTS NORTH



A ENLARGEMENT PASSING BAY NTS SOUTH



B ENTRANCE ENLARGEMENT NTS



NOTES:

NO.	DATE	REVISION
1	2/12/25	PASSING BAY 5m > 5.5m
2	7/2/26	WIDEN ROAD WIDTH
3	10/4/26	ADJUST ROAD CORNER ANGLE, ENTRANCE WIDTH INCREASE 7m > 8m
4	13/6/26	UPDATED PER COUNCIL RFI - TREES, ROAD MARKINGS

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
 DESIGN FOR 15 ACRES IN  
 MELBOURNE**  
 LOCATED AT 120 SUNBURY RD,  
 BULLA VIC 3428, AUSTRALIA

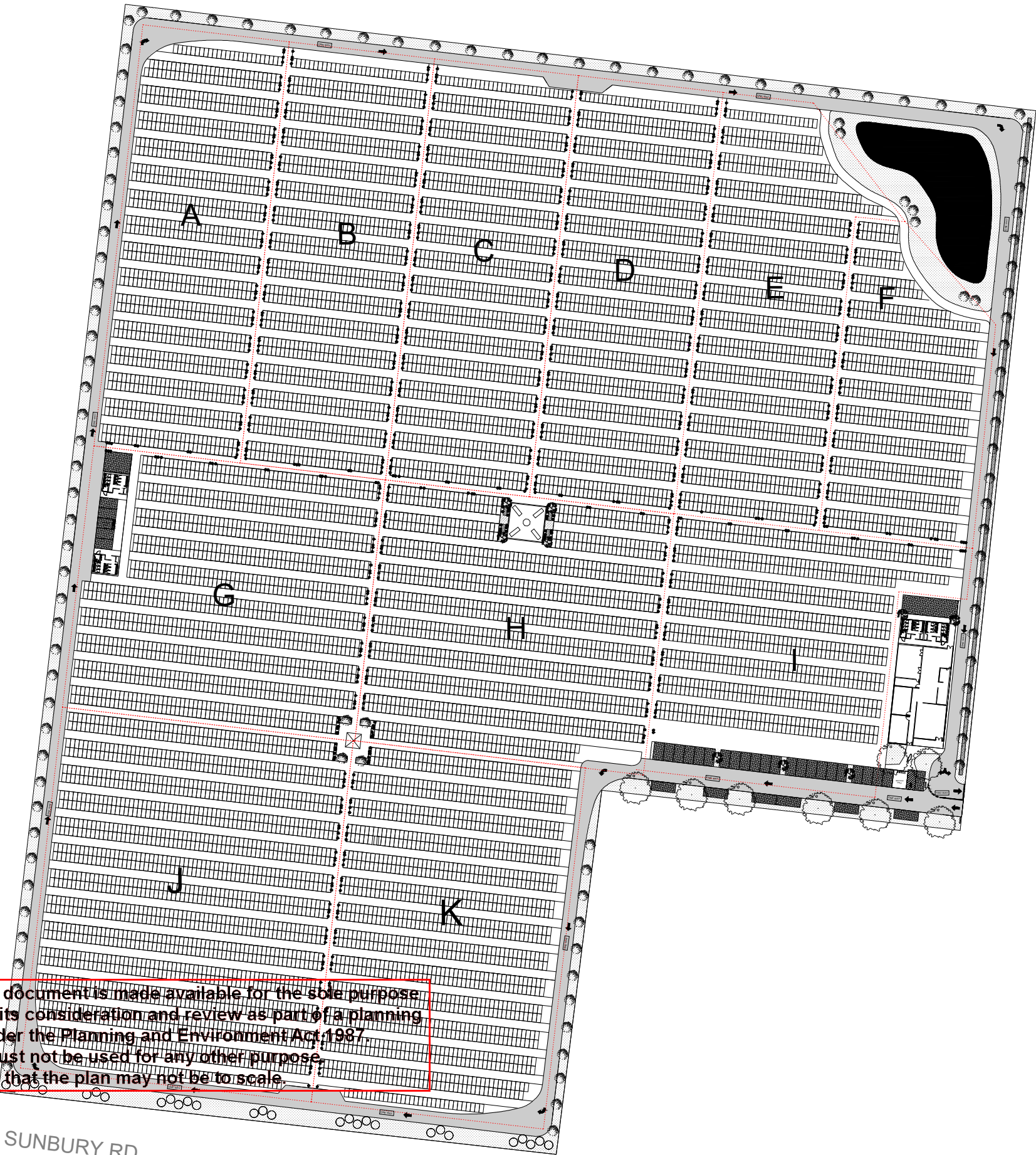
DRAWING TITLE:  
**DIMENSION PLAN**

SCALE: 1:1300 DATE: 13/6/2026

DRAWING REF. FRL/UW/C/DP/01 REVISION **04**

INTERMENT PLOTS

A	954 nos
B	961 nos
C	961 nos
D	961 nos
E	933 nos
F	602 nos
G	1174 nos
H	1197 nos
I	852 nos
J	1702 nos
K	1279 nos
<b>TOTAL</b>	<b>11 594 nos</b>

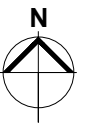


UNITING LN

SUNBURY RD

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NORTH POINT:



NOTES:

NO.	DATE	REVISION
1	25/6/25	FOLLOW AMENDED LAYOUT
2	7/2/26	FOLLOW AMENDED LAYOUT
3	10/4/26	ZONE REDUCED TO FOLLOW PLOT ADJUSTMENT

PROJECT TITLE:  
CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:  
ZONING PLAN

SCALE: 1:1300




DATE: 10/4/2026

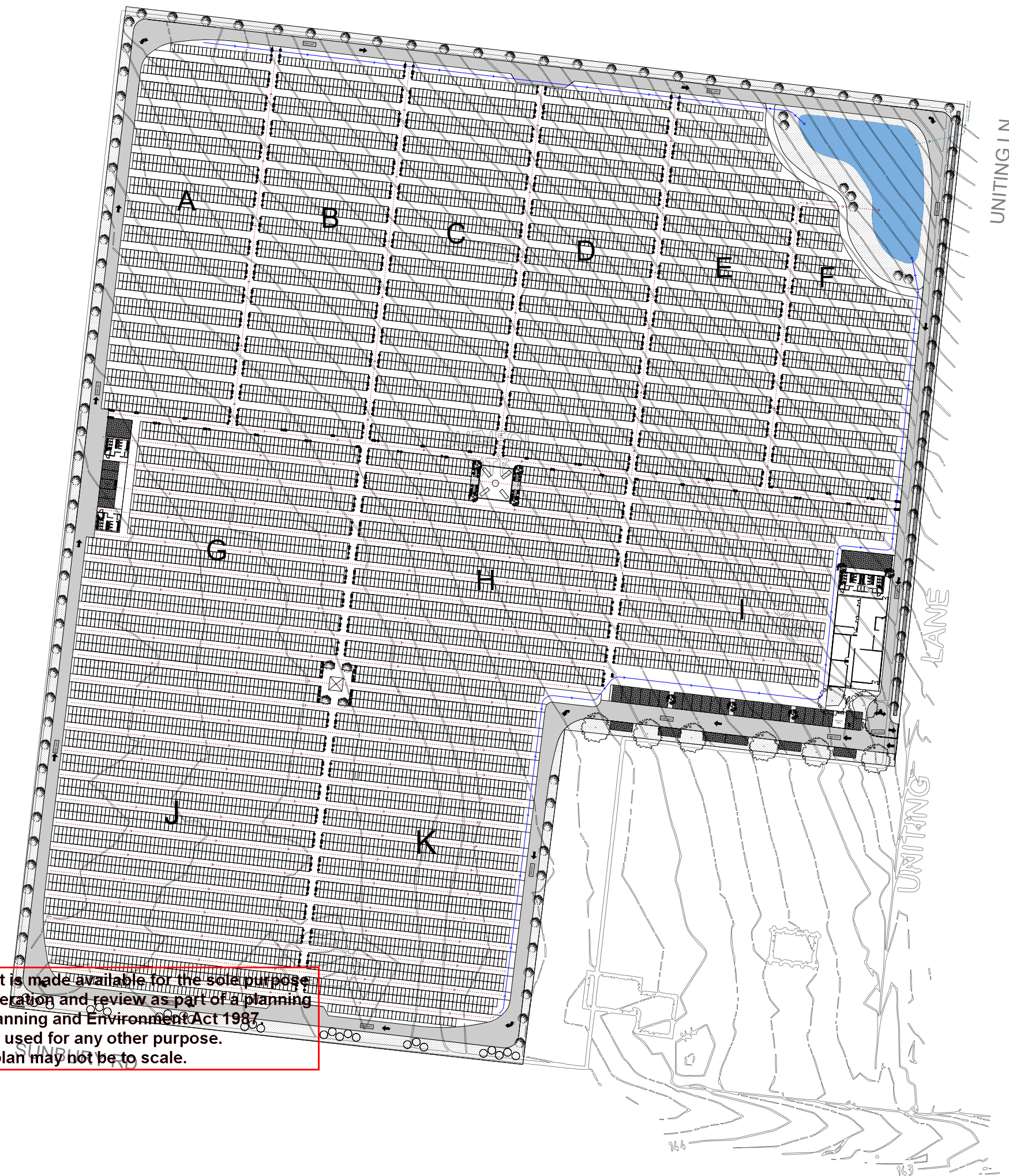
DRAWING REF.  
FRL/UW/C/ZP/01

REVISION

03

DRAINAGE SYSTEM

	Perimeter tale drain to engr's detail	1512 m
	Grassed channel/walkway to engr's detail	3941 m
	Drainage pipe outlet to engr's detail	refer NFK



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NORTH POINT:



NOTES:

NO.	DATE	REVISION
1	7/2/26	ADDED PERFORATED PIPES
2	10/4/26	DRAINAGE SYSTEM TO FOLLOW NFK CIVIL REPORT

PROJECT TITLE:

CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:

DRAINAGE PLAN

SCALE: 1:1300

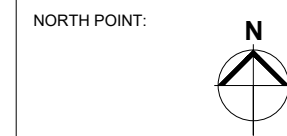
DATE: 10/4/2026

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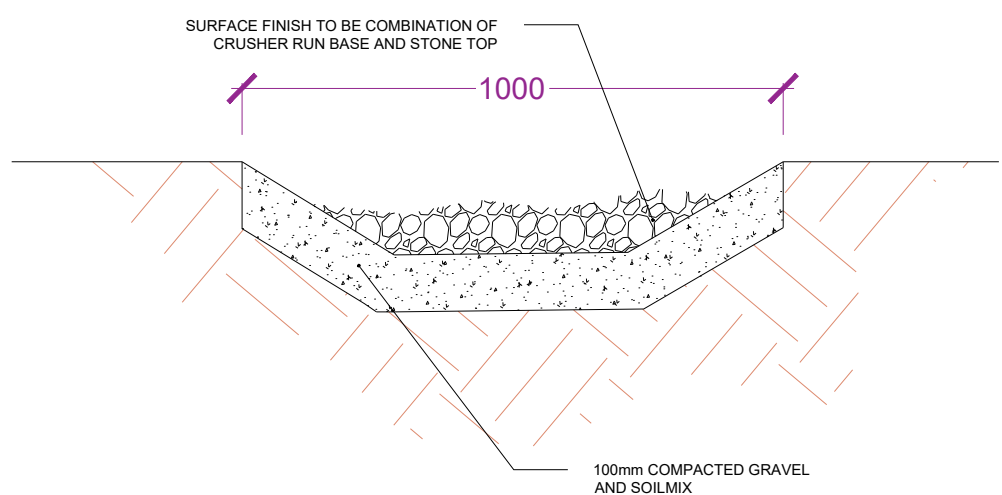
FRL/UW/C/DP/01

REVISION

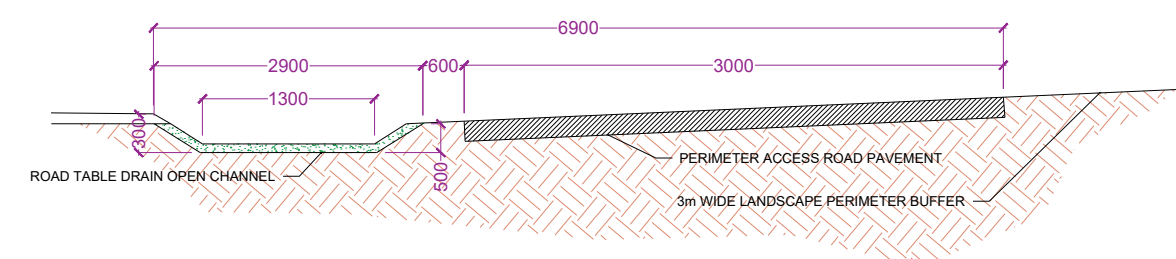
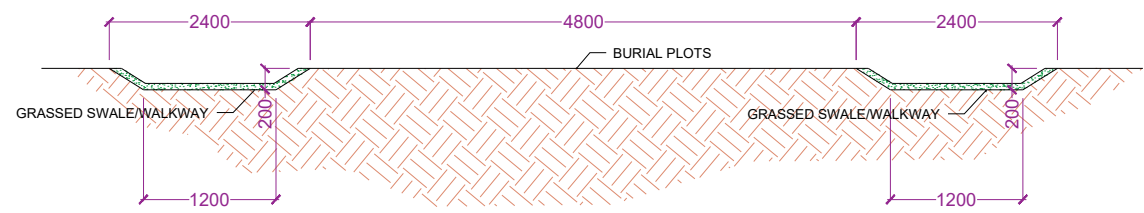
02



NOTES:



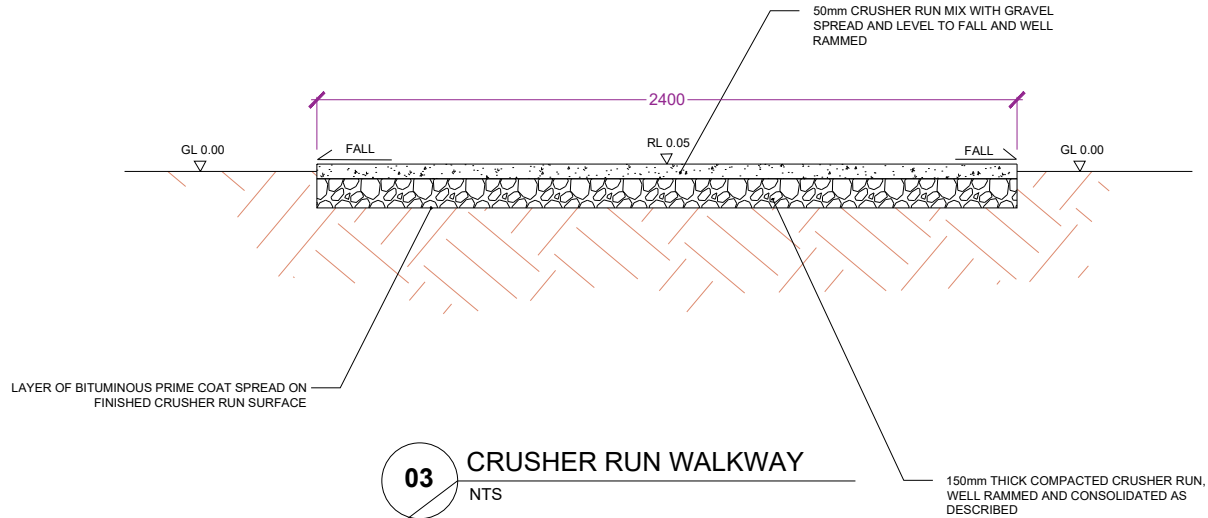
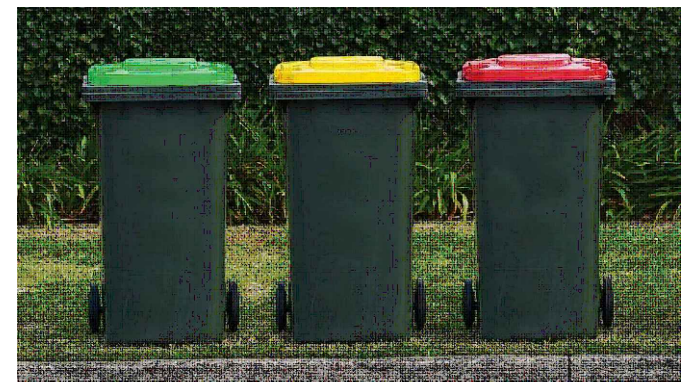
**01 BIOSWALE**  
NTS



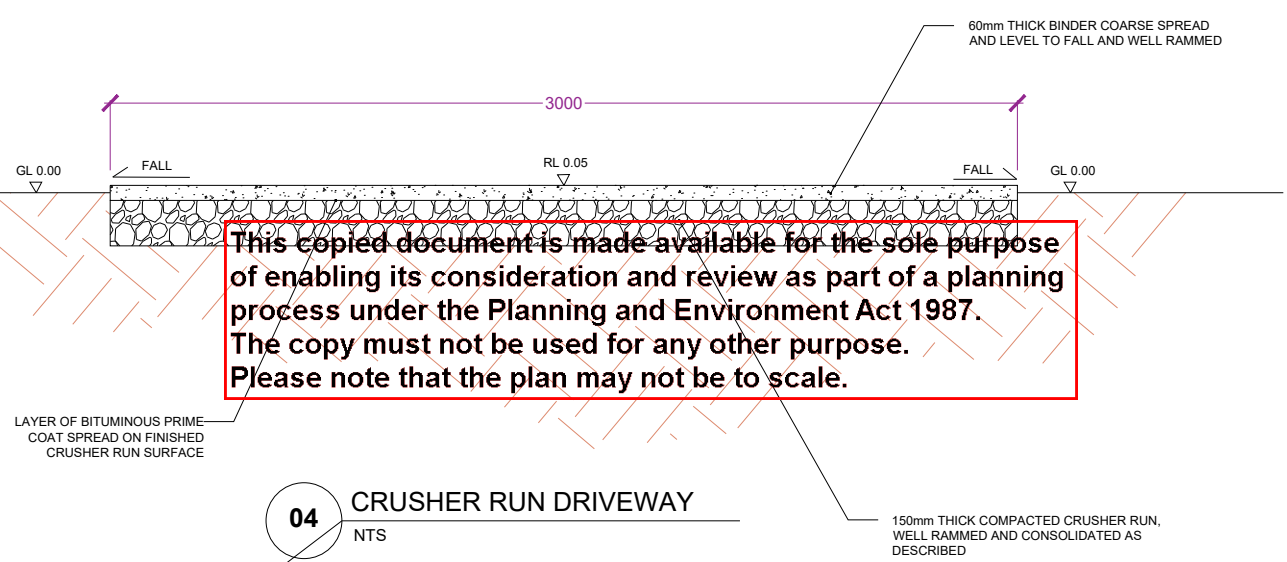
**02 TYPICAL DRAINAGE SECTION**  
NTS

NO.	DATE	REVISION
1	10/4/26	ADDED TYPICAL DRAINAGE SECT.

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
 DESIGN FOR 15 ACRES IN  
 MELBOURNE**  
 LOCATED AT 120 SUNBURY RD,  
 BULLA VIC 3428, AUSTRALIA



**03 CRUSHER RUN WALKWAY**  
NTS



**04 CRUSHER RUN DRIVEWAY**  
NTS

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TO LIAISE WITH SUPPLIER AND LOCAL AUTHORITY TO CONFIRM SIZE AND COLOUR CODING REQUIREMENTS.



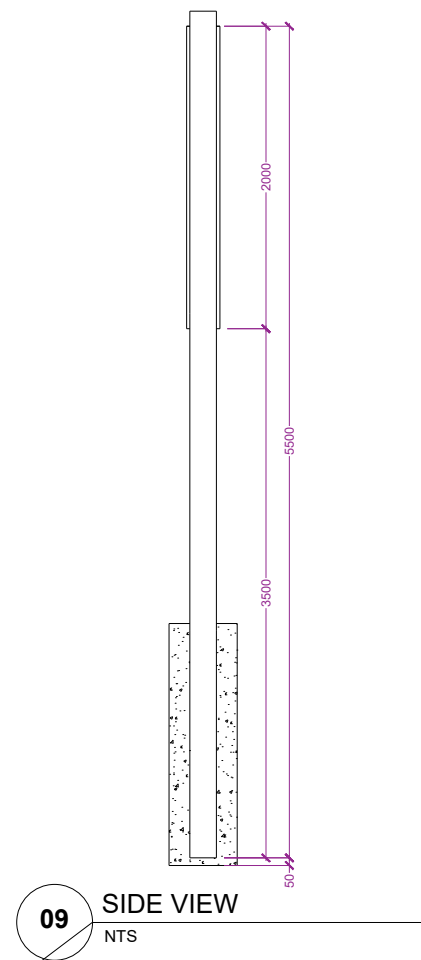
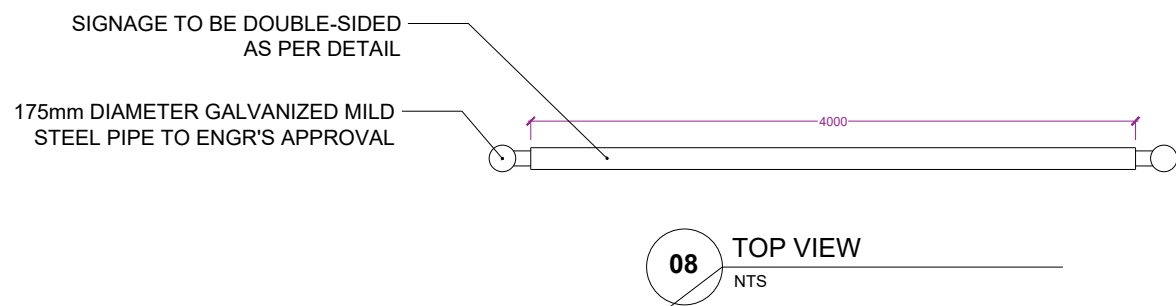
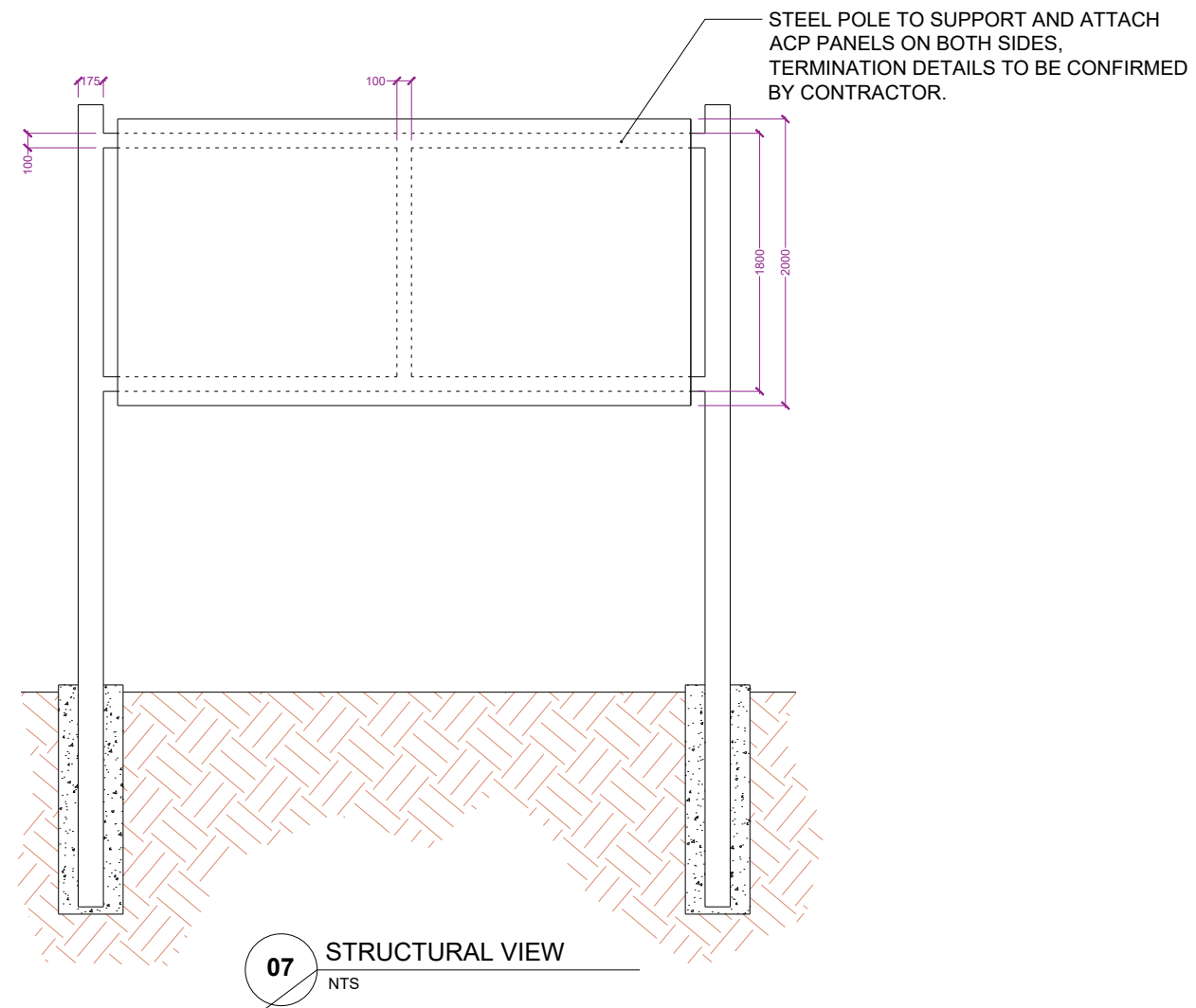
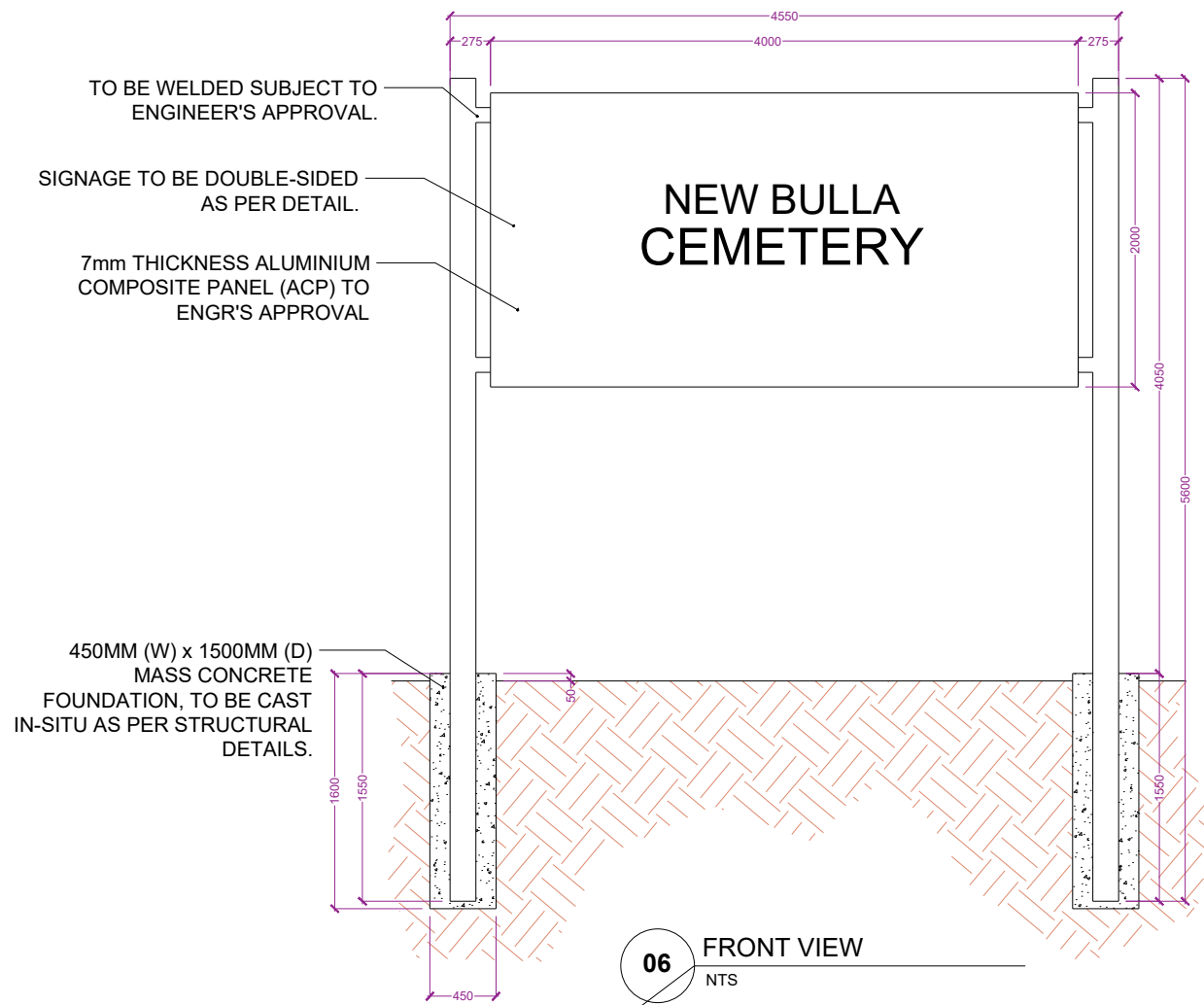
NOTES: TO PROVIDE RED, YELLOW, AND GREEN WASTE BINS. EACH DESIGNATED FOR SPECIFIC WASTE TYPES AS PER LOCAL WASTE MANAGEMENT GUIDELINES.

**05 WASTE BIN**  
NTS

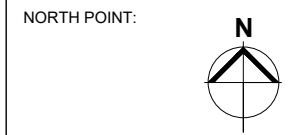
DRAWING TITLE:  
**LANDSCAPE PLAN -  
 HARDSCAPE DETAILS**

SCALE: NTS      DATE: 10/4/2026

DRAWING REF.      REVISION  
 FRL/UW/C/LP/HL/01      **01**



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- NOTES:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS BASED ON AVAILABLE MATERIALS.
  2. CONTRACTOR TO SUBMIT METHOD OF STATEMENT (MOS) FOR ENGINEER'S APPROVAL.
  3. CONTRACTOR TO CONSTRUCT THE SIGNAGE TO SUIT SITE CONDITIONS.

NO.	DATE	REVISION

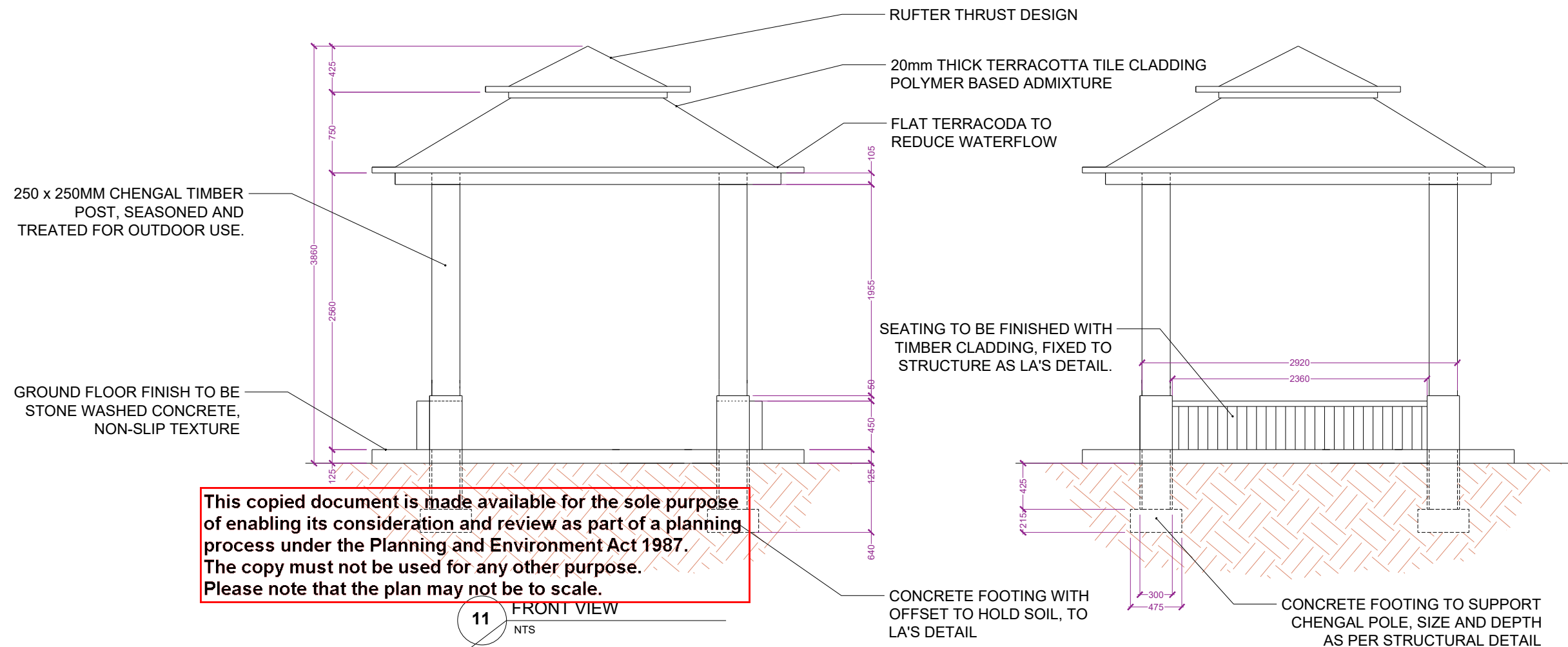
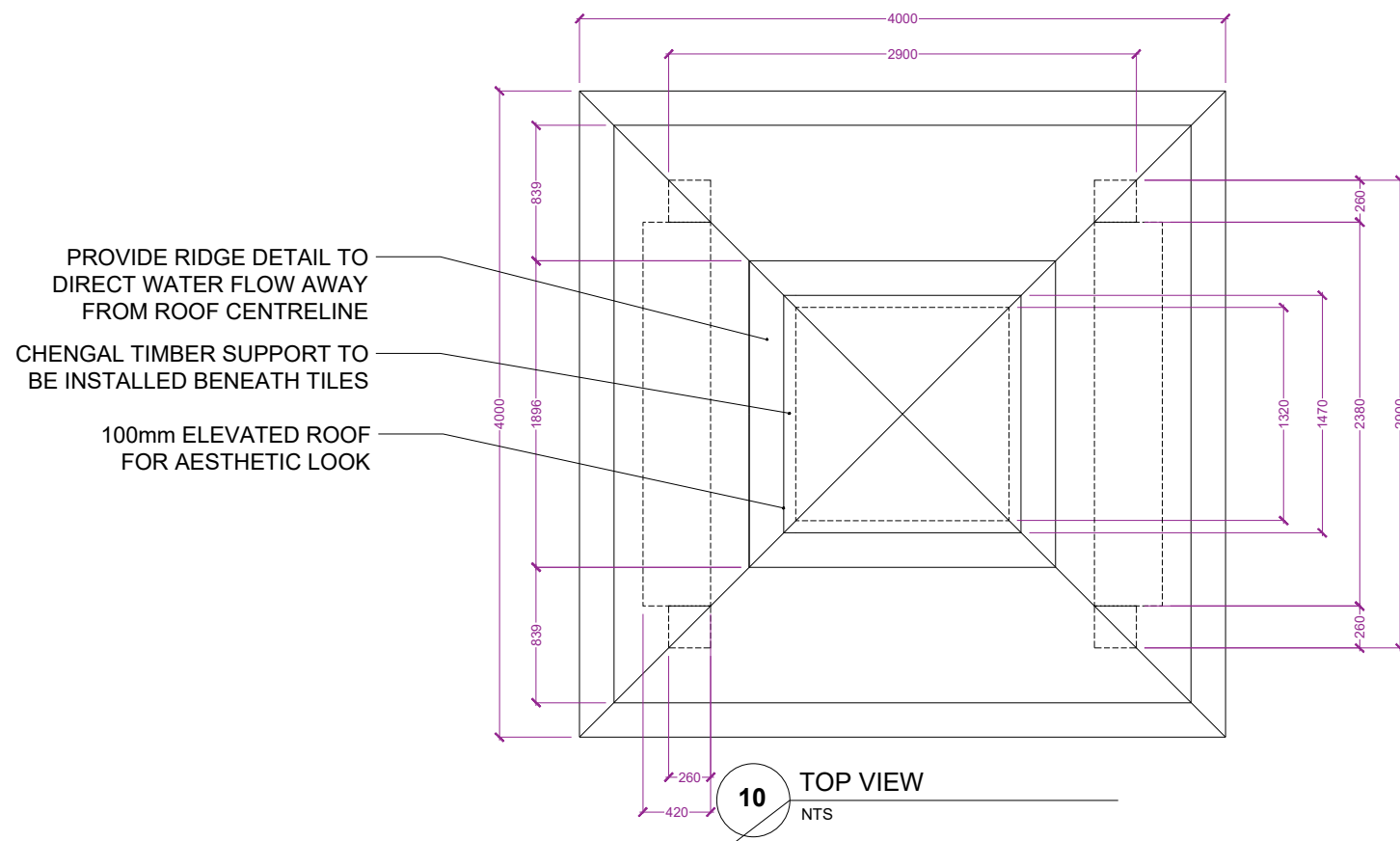
PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
 DESIGN FOR 15 ACRES IN  
 MELBOURNE**

LOCATED AT 120 SUNBURY RD,  
 BULLA VIC 3428, AUSTRALIA

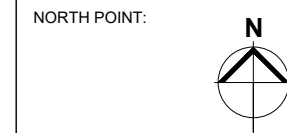
DRAWING TITLE:  
**LANDSCAPE PLAN -  
 SIGNAGE DETAILS**

SCALE: NTS      DATE: 24/6/2025

DRAWING REF.      REVISION  
 FRL/UW/C/LP/HL/02      00



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  2. CONTRACTOR TO SUBMIT METHOD OF STATEMENT (MOS) FOR ENGINEER'S APPROVAL.
  3. CONTRACTOR TO CONSTRUCT GAZEBO TO SUIT SITE CONDITIONS. STRUCTURE MAY BE BUILT USING EITHER **TIMBER OR REINFORCED CONCRETE**, SUBJECT TO FINAL DESIGN AND SITE REQUIREMENTS.

NO.	DATE	REVISION

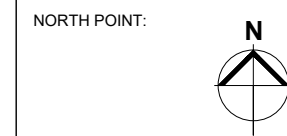
PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
 DESIGN FOR 15 ACRES IN  
 MELBOURNE**

LOCATED AT 120 SUNBURY RD,  
 BULLA VIC 3428, AUSTRALIA

DRAWING TITLE:  
**LANDSCAPE PLAN -  
 MEMORIAL GAZEBO DETAILS**

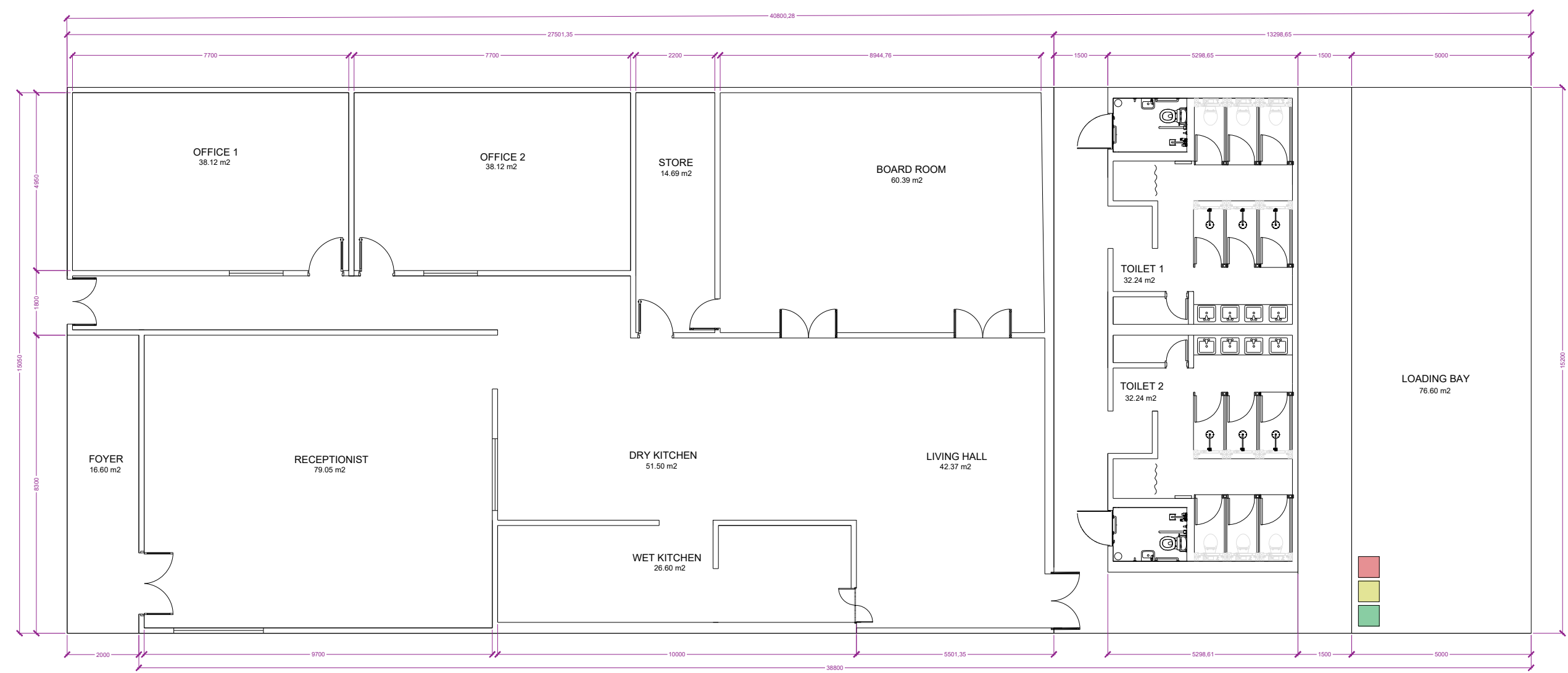
SCALE: NTS      DATE: 24/6/2025

DRAWING REF.      REVISION  
 FRL/UW/C/LP/HL/03      00



- NOTES:
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BUILDING TO INCORPORATE APPROPRIATE NOISE ATTENUATION MEASURES INCLUDING DOUBLE GLAZING TO WINDOWS AND ROOF INSULATION IN ACCORDANCE WITH THE MELBOURNE AIRPORT ENVIRONS OVERLAY REQUIREMENTS.



**01** PLAN VIEW  
1:130

NO.	DATE	REVISION
1	25/6/25	ADDED SMALL DOOR WET KITCHEN

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE**

LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA

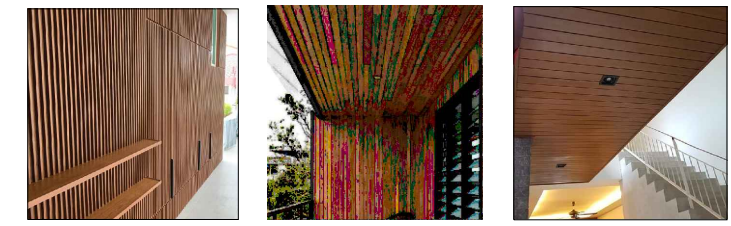
**MATERIAL CONCEPT SUGGESTION**

**Foyer**



Timber strip      Polish concrete

**Receptionist**



Timber strip      Wood panel      Composite strip ceiling

**Board room**



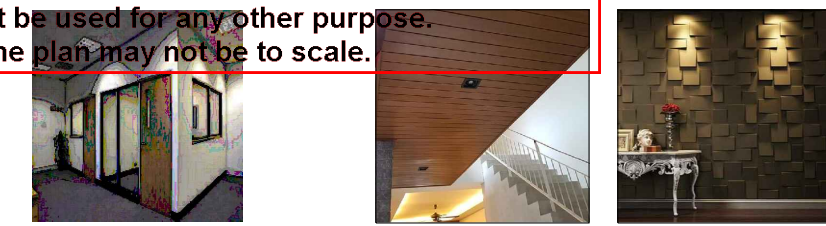
Fabric panel      Carpet flooring

**Kitchen**



Grayish glossy tiles      Textured floor tiles

**Office**



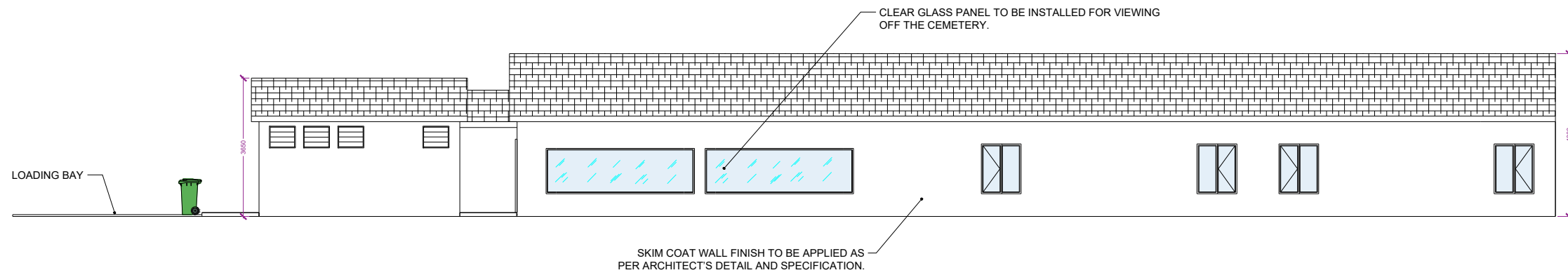
Gypsum board      Composite strip ceiling      PVC panel ceiling

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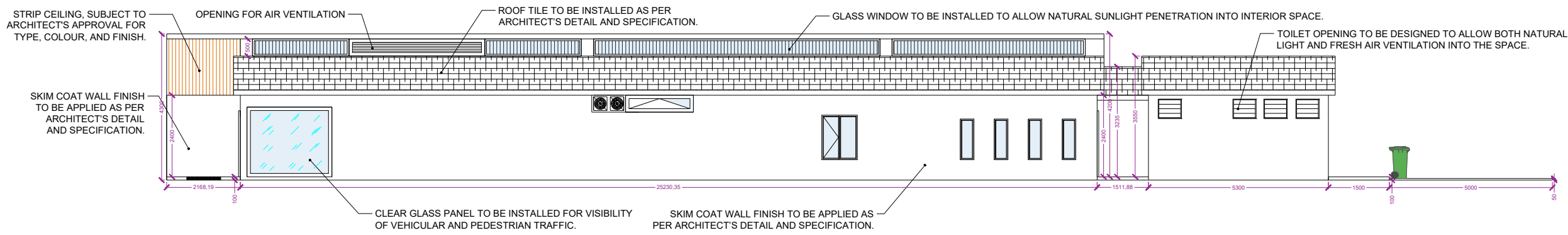
DRAWING TITLE:  
**INFORMATION CENTRE DETAILS  
- PLAN VIEW**

SCALE: 1:130      DATE: 25/6/2025

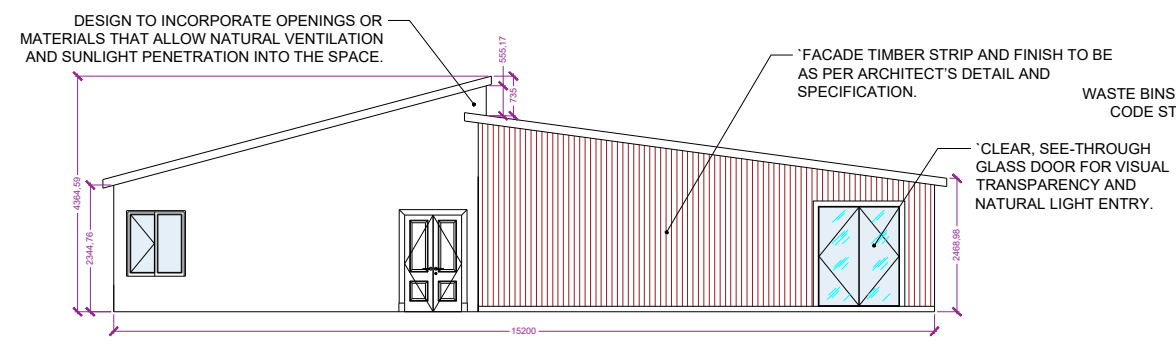
DRAWING REF.      REVISION  
FRL/UW/C/IC/01      **01**



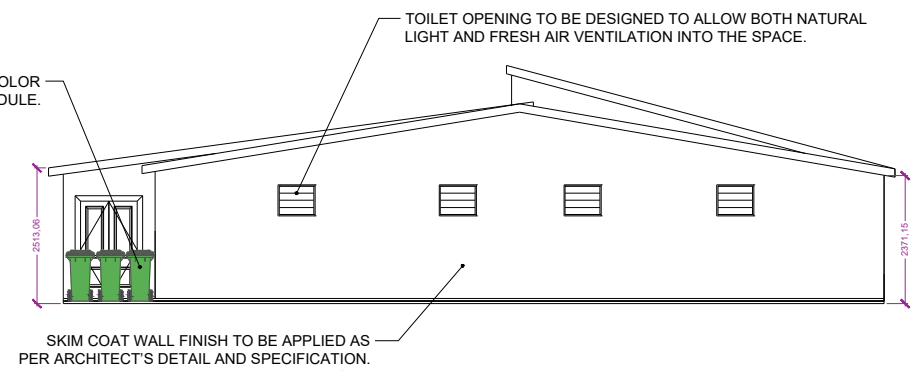
**02 REAR VIEW**  
NTS



**03 FRONT VIEW (from main road)**  
NTS



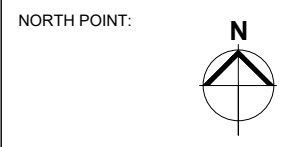
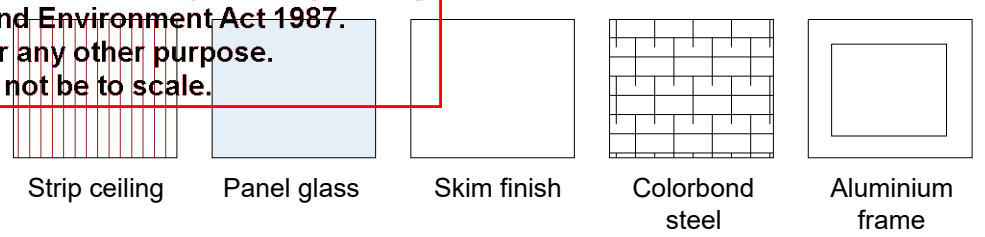
**04 SIDE VIEW (left)**  
NTS



**05 SIDE VIEW (right)**  
NTS

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**MATERIAL SUGGESTION**



- NOTES:
1. CONTRACTOR TO SUBMIT SHOP DRAWINGS BASED ON AVAILABLE MATERIALS.
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BUILDING TO INCORPORATE APPROPRIATE NOISE ATTENUATION MEASURES INCLUDING DOUBLE GLAZING TO WINDOWS AND ROOF INSULATION IN ACCORDANCE WITH THE MELBOURNE AIRPORT ENVIRONS OVERLAY REQUIREMENTS.

NO.	DATE	REVISION

PROJECT TITLE:  
**CEMETERY CONCEPT PLAN  
DESIGN FOR 15 ACRES IN  
MELBOURNE**

**LOCATED AT 120 SUNBURY RD,  
BULLA VIC 3428, AUSTRALIA**

DRAWING TITLE:  
**INFORMATION CENTRE DETAILS  
- SECTIONAL ELEVATION**

SCALE: 1:140      DATE: 25/6/2025

DRAWING REF.      REVISION  
FRL/UW/C/IC/02      **01**

Our Reference: G36961L-01A

18 May 2026

Attention:

Dear

## **120 Sunbury Road, Bulla – Proposed Cemetery Development Traffic Engineering Assessment at Town Planning Application Stage**

Further to your instructions, please find following our review of the proposed cemetery development at 120 Sunbury Road, Bulla.

The following letter provides further traffic engineering advice and commentary responding to Hume City Council's Traffic Department referral comments (email from Council dated 28 April 2026).

The revised assessments are based on information from "Bulla Cemetery Concept Masterplan 110426 - revised (3).dwg".

### **Engineer Concerns and Response**

The specific items raised within the internal Council Referral are reproduced as follows:

1. *The provided swept paths inadequate, the provided swept paths travel of land outside the road reserve as well as the overhand of the MRV extends past the road width.*
2. *It is also noted that the provided swept paths for the MRV show that the existing vehicle cross over is not wide enough to accommodate for the truck movements. This movement will damage the existing nature strip.*
3. *As such a 8.8m MRV can't navigate this road network, applicant to extend the internal road width to accommodate for vehicle movements as well as extend vehicle crossing splays.*

has provided design advice to the project architect to achieve a satisfactory internal road and site access layout. The internal radii at corners have been revised and has broader curves to accommodate the design vehicle.

Updated swept path assessments have been prepared using a turning template based on the 8.8m Medium Rigid Vehicle (MRV) as per AS2890.2. As per council comments, the

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following characteristics were adopted:

5km/h vehicle speed.

6 second look ahead time.

500mm clearance envelope



Appendix A includes a swept path for each corner, demonstrating the design vehicle navigating these movements.

An indicative crossover is shown on Sheet 01. We are satisfied that vehicles will be able to safely manoeuvre to and from the site without impacting the nature strip. Access to enter and exit from the site have been checked, and Appendix A includes swept paths demonstrating the design vehicle navigating these movements.

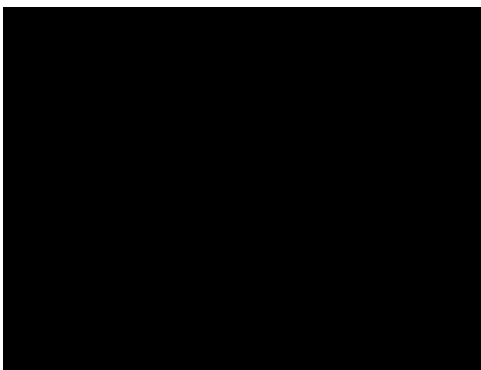
We are satisfied that vehicles will be able to safely manoeuvre to and from the site without impacting the nature strip.

Additionally, we note the following:

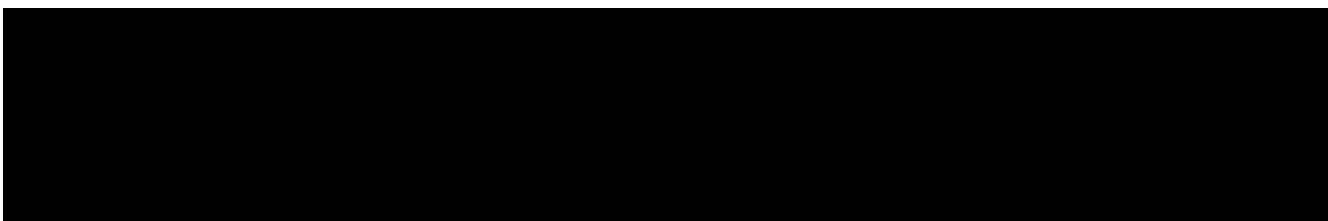
- Bicycle facilities that have been indicated on the architect plans do not show minimum spacing to satisfy AS2890.3 – this could be readily addressed as condition of permit,
- Any structure or landscaping at the entry must ensure pedestrian sight distance requirements, as per AS2890.2, Section 3.4.5 (b), as indicated on Sheet 01,
- The internal section of accessway at the southeast parking area is intended to be two-way, and should be marked accordingly – this could be readily addressed as condition of permit, and
- The internal accessway should be marked as One Way from the southeast parking section onwards – this could be readily addressed as condition of permit.

Overall, subject to the above considerations, we are satisfied that the car parking arrangements and accessway layout are appropriate.

Please contact [REDACTED] or myself at [REDACTED] if you require any further information.



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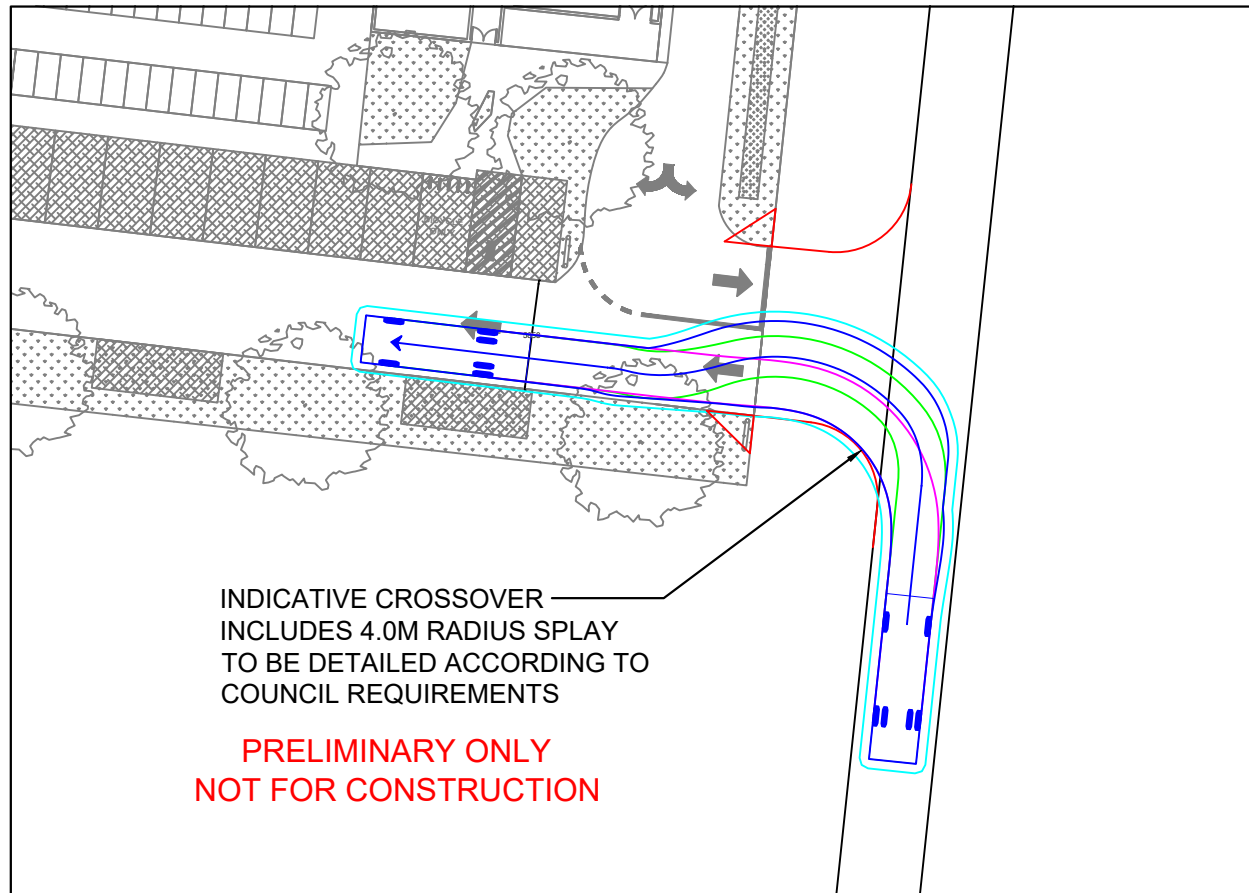


# Appendix A

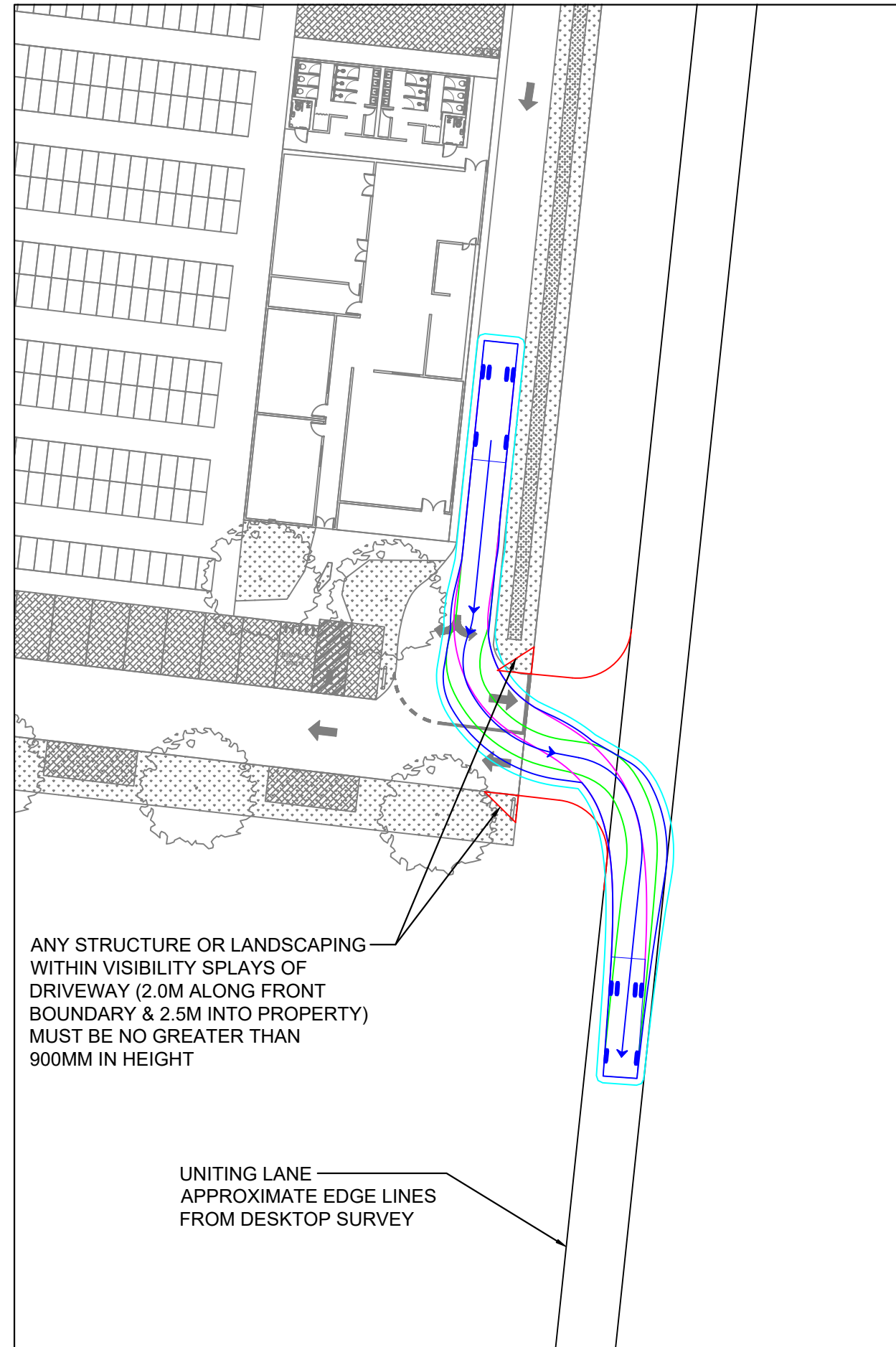
## Swept Path Plans

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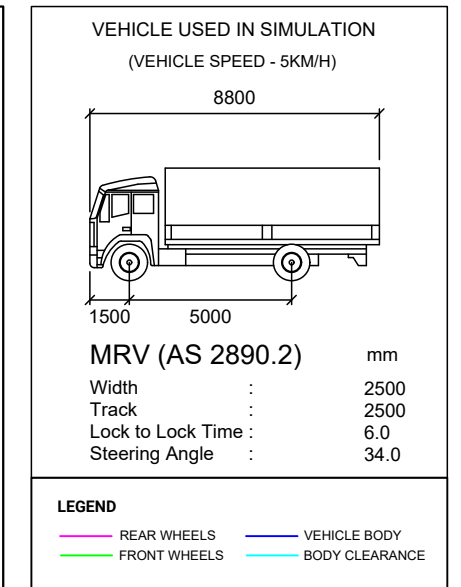
SWEPT PATH - NORTHBOUND ENTRY



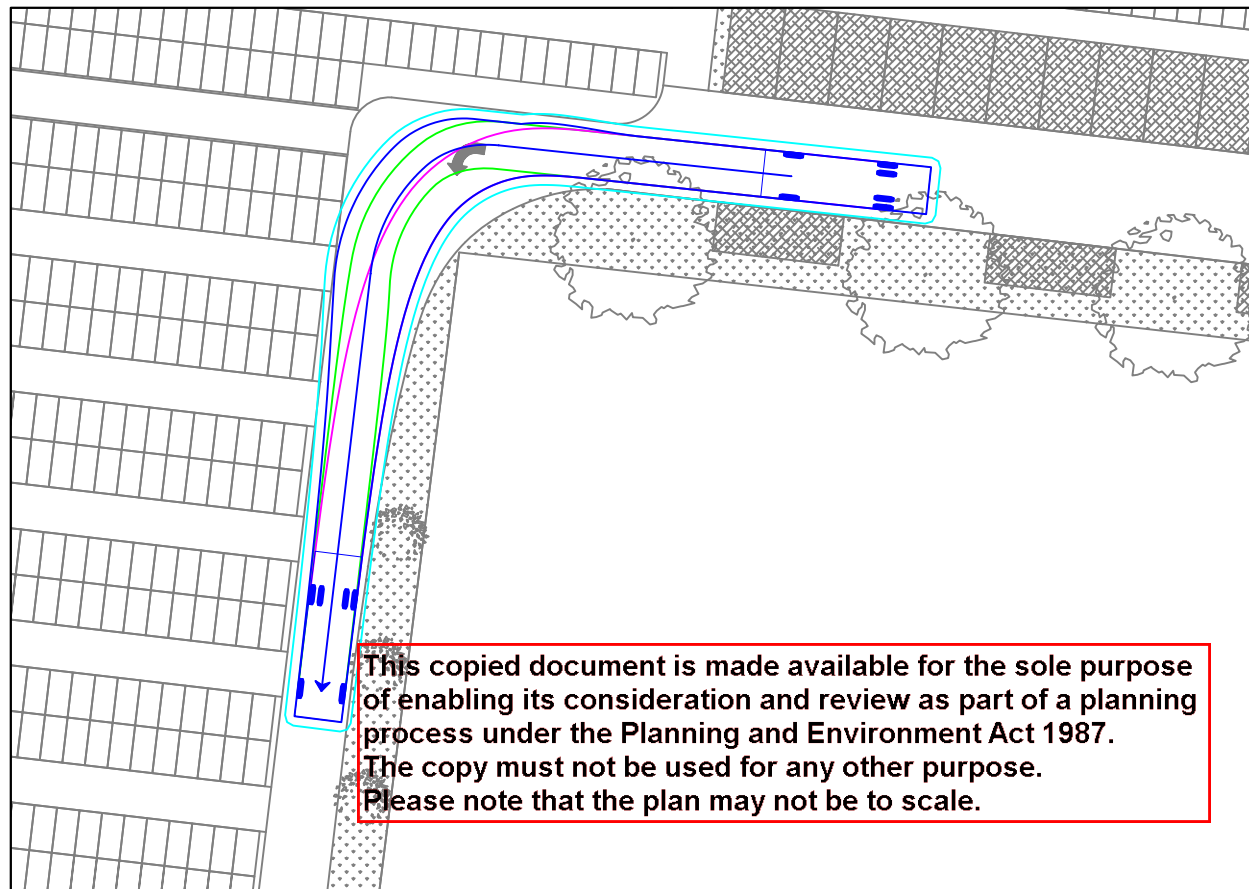
SWEPT PATH - SOUTHBOUND EXIT



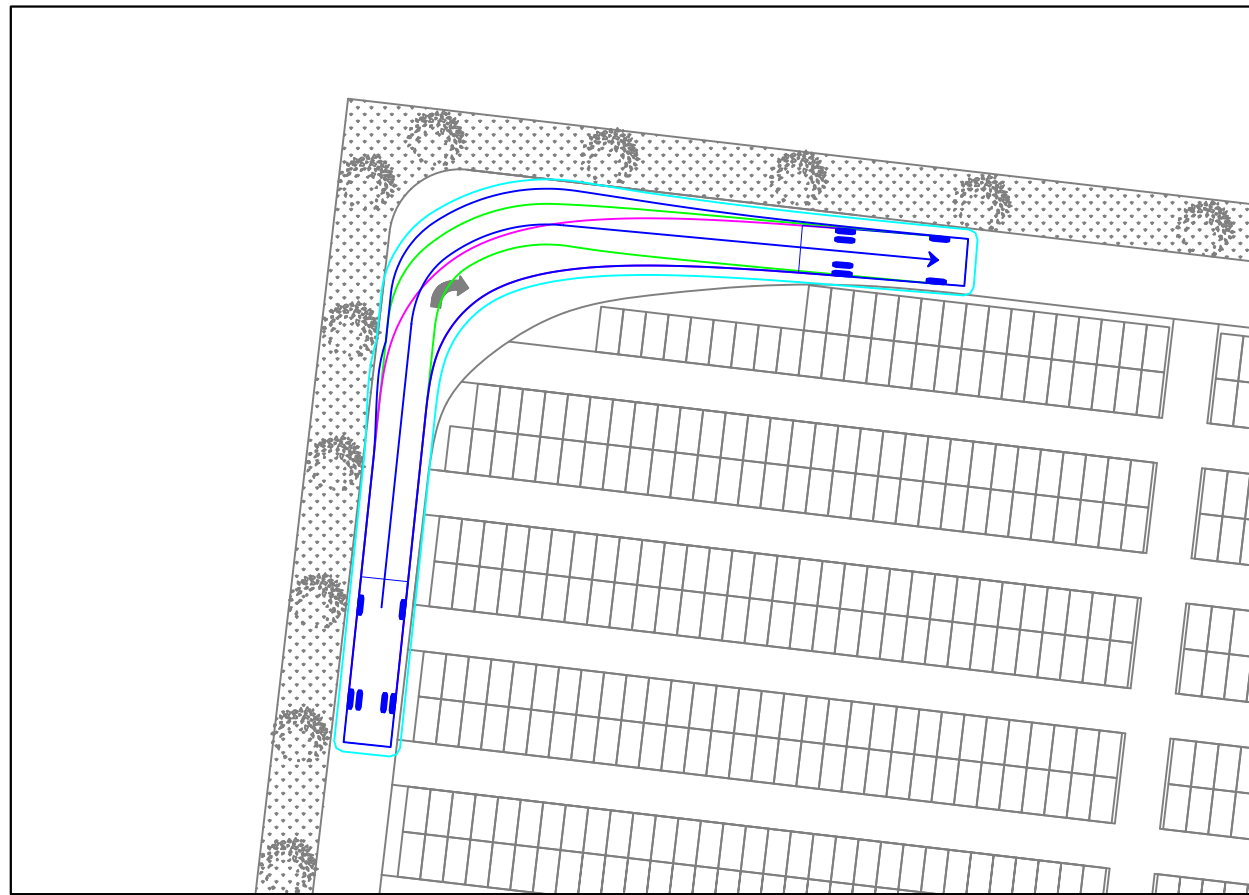
VEHICLE PROFILE



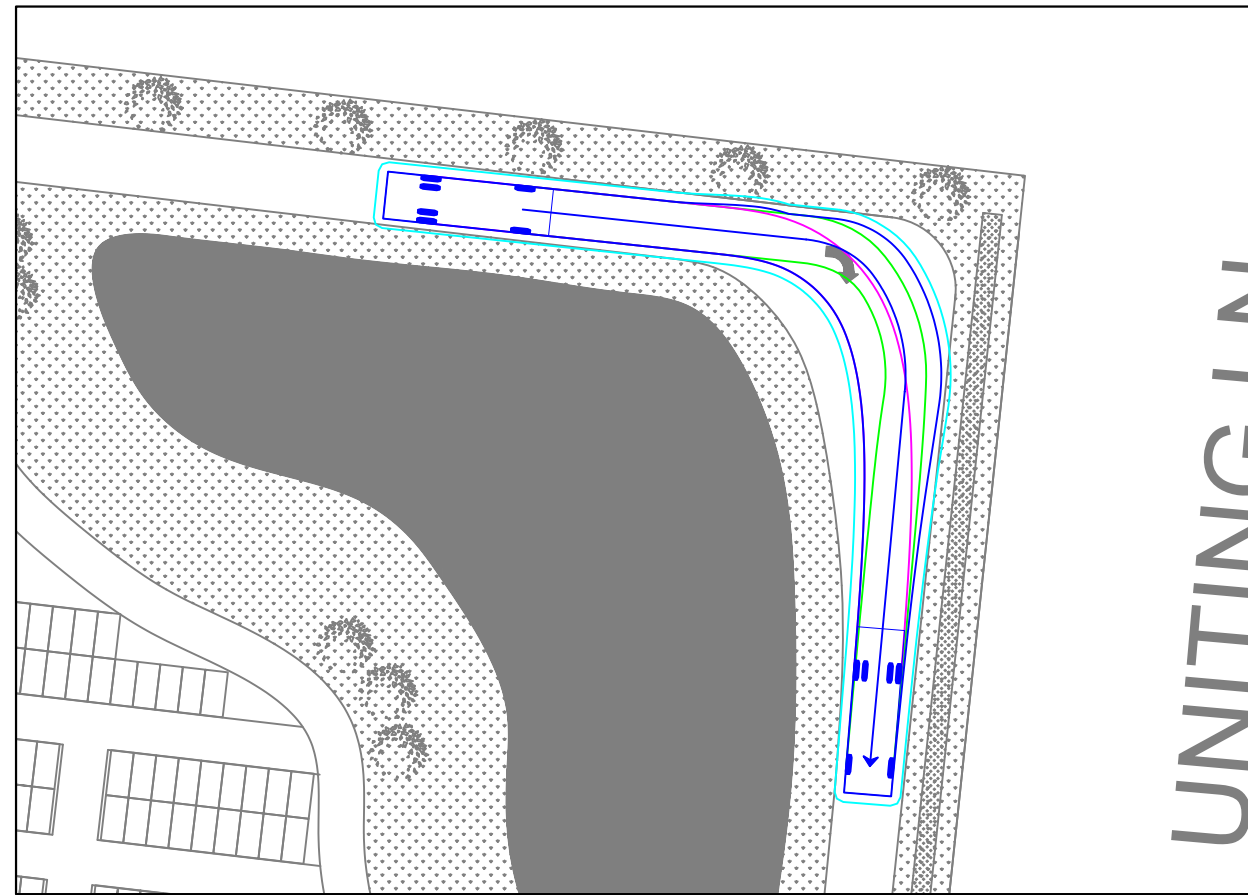
SWEPT PATH - SE INTERIOR CORNER



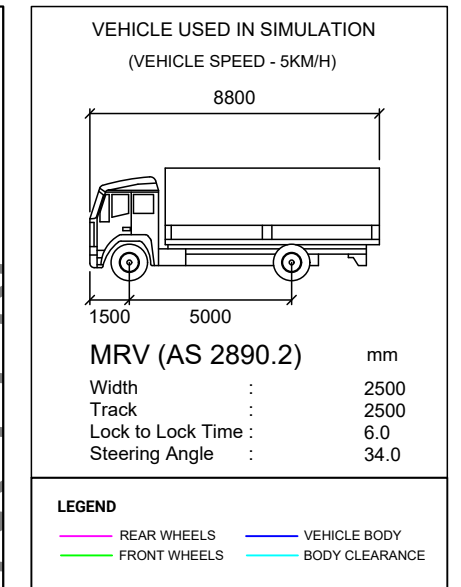
SWEPT PATH - NW CORNER



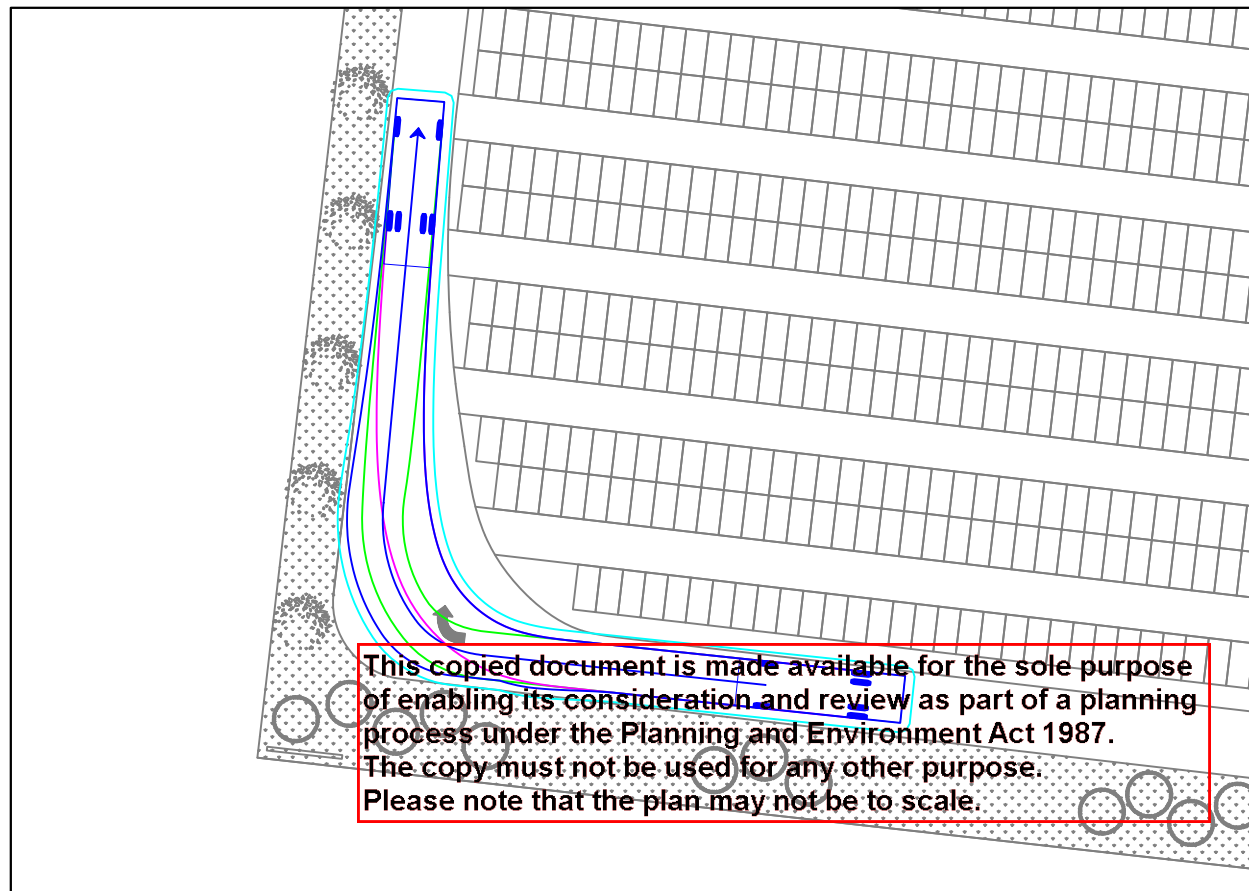
SWEPT PATH - NE CORNER



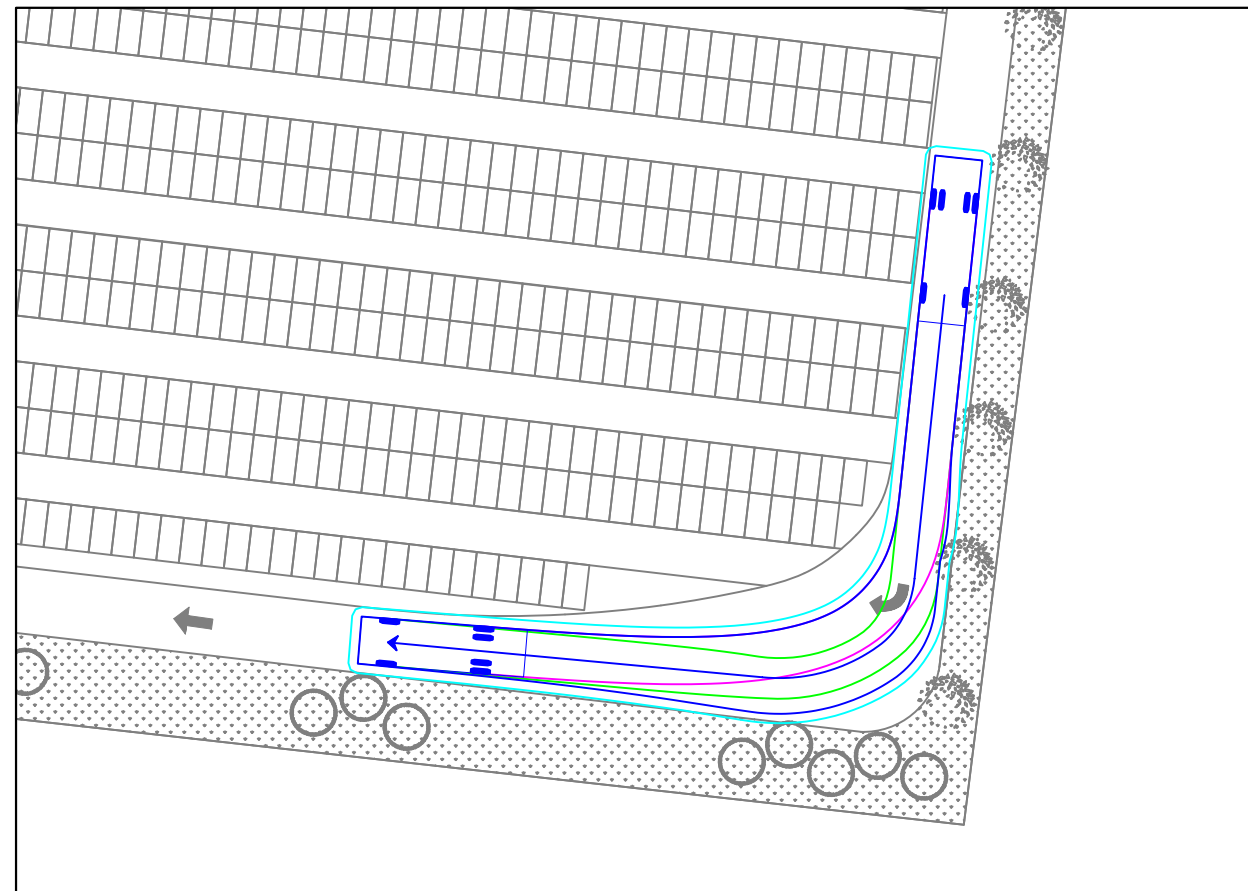
VEHICLE PROFILE



SWEPT PATH - SW CORNER



SWEPT PATH - SE CORNER




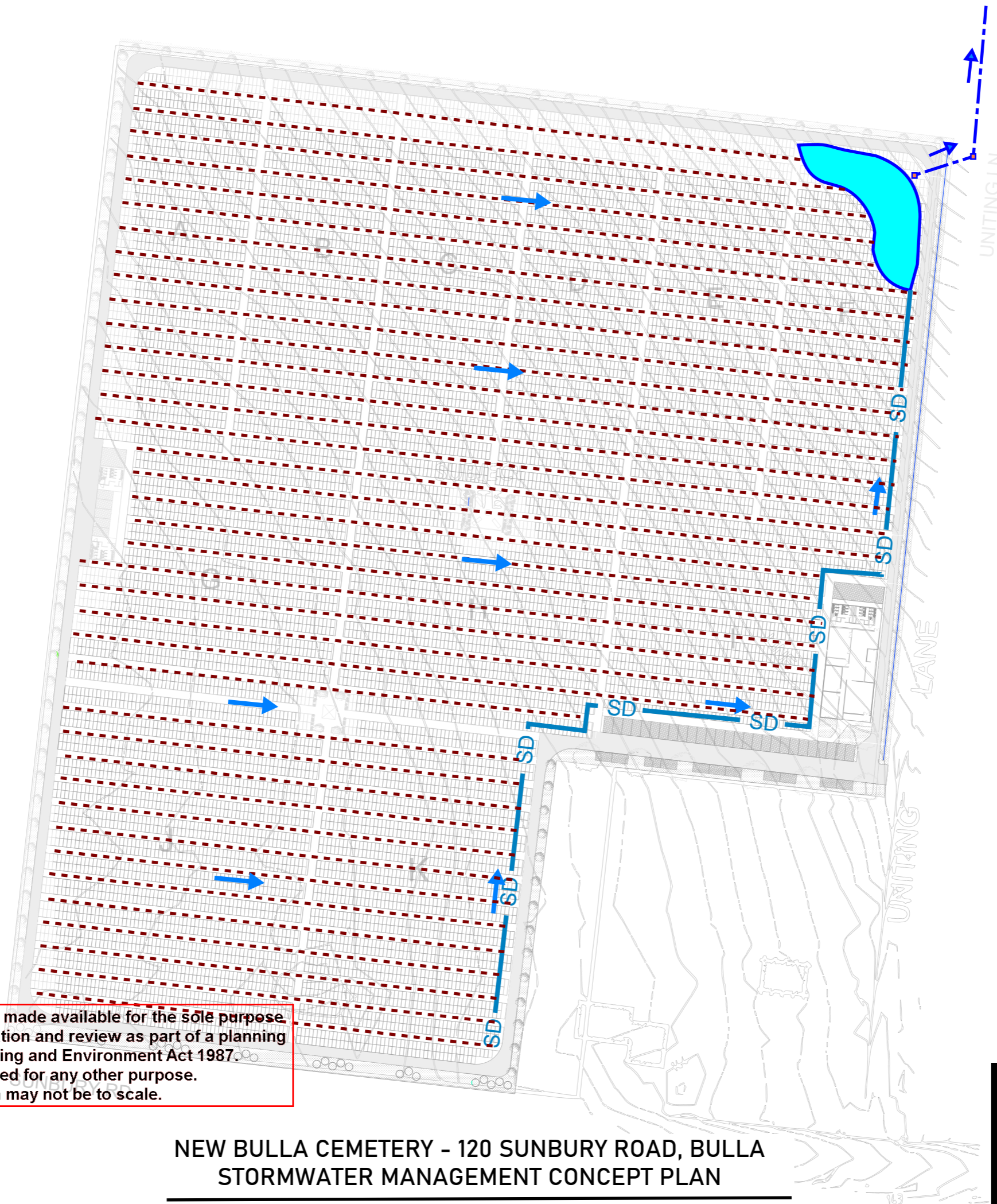
**LEGEND**

----- = GRASSED CHANNEL/WALKWAY

SD — = DRIVEWAY TABLE DRAIN

- - - - = DRAINAGE PIPE OUTLET

 = DETENTION/RETENTION POND



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**NEW BULLA CEMETERY - 120 SUNBURY ROAD, BULLA  
STORMWATER MANAGEMENT CONCEPT PLAN**

N.T.S.

016465

13<sup>th</sup> February 2026

## SITE INVESTIGATION AND CLASSIFICATION REPORT

No. 120 SUNBURY RD, BULLA VIC 3428

This document is a classification report compiled in accordance with AS2870-2011 and shall be considered for design purposes only. It is intended as a summary of the conditions observed for the site at the time of the investigation as deemed relevant for classification under AS2870-2011 and AS1726-2017. [REDACTED] does not endorse any resulting footing design and can only verify the geotechnical site conditions if an inspection of all earthworks and footing excavations prior to pouring concrete is undertaken with reference to the final design documentation, and as per AS1726-2017. As per the requirements of the National Construction Code 2022, Part 3.2.2 (c) Footing excavations must be free of loose earth, tree roots, mud or debris immediately before pouring concrete.

This report complies with all specifications and requirements outlined in the Australian Standard AS 2870-2011 and Foundation & Footings Society (Vic.) (FFSV), Practice Notes 1 to 6, have been considered in the compilation of this classification report.

Further testing may be necessary especially where the building design is not finalised at the time of testing or where the design changes occur after testing is completed.

This report is valid for a maximum period of twelve (12) months providing no changes are made to the site that may affect the recommendations. Changes to the site which may render this report invalid include, but are not limited to, changes to the design and/or construction methods proposed, planting of trees on the subject site or neighbouring properties, cut/fill to the site, abnormal weather conditions, failure of plumbing or drainage on or adjacent to the subject site, or change of ownership.

### 1. COMMISSION

This copy [REDACTED] for the sole purpose of enabling its CLASSIFICATION of the site as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.

[REDACTED] was commissioned to determine the SITE based on geological maps, aerial photography study and a site inspection.

## 2. SCOPE OF WORKS

█ has used its best endeavors to select the number and location of test sites based on the above information.

Ten (10) test locations were logged on site using a mechanical push tube at the approximate positions specified on the unscaled site sketch (Appendix C).

Pocket Penetrometer tests were conducted at positions indicated in the bore logs.

Drilling refusal does not allow for the determination of the vertical or horizontal extent of a hard layer or object. █ recommends further investigation to assess the continuity of rock if founding to rock is deemed advantageous.

Any classification report is based on a unique set of project specific factors and isolated test locations within the testing limitations instructed by the client. Conditions may vary across the site in areas that have not been tested.

**Further investigations must be undertaken if the proposed works differ from what is described above. Final drawings must be made available to STM as soon as the design has been finalised for construction to allow for a report review.**

## 3. TERRAIN & VEGETATION (Refer Site Plan)

The site is on the North side of the Sunbury Road.

The land is sloping Northeast with an approximate fall of 1 in the 55.

Drainage is considered Poor.

Vegetation on the subject site and neighbouring sites consists of trees as per the site plan attached.

**Planting of trees shall be avoided near the foundation of a building or neighbouring building on reactive sites as they can cause damage due to drying of the clay at substantial distances. Most modern allotments with clayey soils are too small to safely grow large trees without special footings. Generally the larger the root system of the tree(s) the greater the drying effect. If in doubt seek the advice of an expert arborist and designing engineer.**

## 4. WATER & DRAINAGE

No groundwater was encountered.

Subsurface drainage water is not considered to be groundwater.

Water may cause constructional problems during footing excavations and may also cause increased movement of the foundation. The excavations must be

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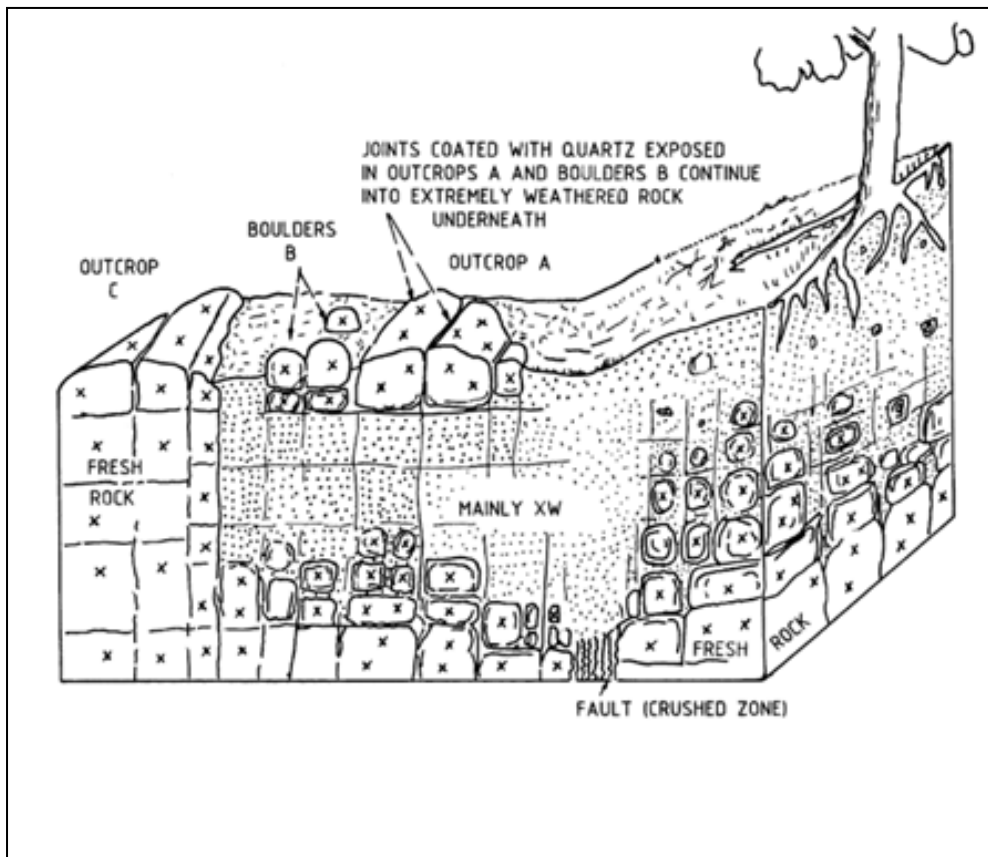
kept dry and dewatered well prior to pouring concrete. Stormwater piping, even if temporary, must be connected by the time the roof is constructed. Original maintenance of the drainage and stormwater shall be effectively managed for the life of this building.

## 5. GEOLOGY

Regionally the site is within an area of Miocene to Holocene (Neo) Newer Volcanics consisting of Olivine tholeiite, quartz tholeiite, basanite, basaltic icelandite, hawaiite, mugearite, minor scoria and ash, fluvial sediments: tholeiitic to alkaline; includes sheet flows and valley flows and intercalated gravel, sand, clay

## 6. GEOLOGICAL CONTEXT

The weathering of igneous rock usually follows a typical pattern. This typical pattern is illustrated within the figure below. It is of our experience that the weathering of basalt rock can be variable as such it is not uncommon to encounter rock floaters embedded within the soil profile.



*Features sometimes seen in weathered masses of granitic and other igneous rocks (Fell and others, 2005)*

## 7. SITE CLASSIFICATION

The following information is available for the site based on the minimum testing of enabling its consideration and review as part of a planning classification must be process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please contact STM allowing satisfactory time to attend site and confirm the site classification during construction.

Based on the soil profile the typical surface movement for the area has been assessed to be extremely variable. In accordance with AS 2870-2011, the site is classified as a **CLASS P, PROBLEM SITE.**

The P classification in this otherwise **Highly Reactive (H2)** clay site which may experience **very high** ground movement from moisture changes has been made as a result of;

- The site may be subject to moisture changes due to site conditions more severe than normal site conditions due to:
  - Presence of trees on the building site or adjacent site.
  - Failure to provide adequate site drainage.
  - Failure to detail or construct drainage in accordance with AS2870-2011.

Abnormal moisture conditions are likely to result in exaggerated soil movement as the site adjusts to a new moisture regime. These adverse conditions can cause a number of problems, such as foundation instability, cracking plaster and brickwork, and poorly fitting openings.

The newly cleared site, if left fallow, would take at least 3 seasonal cycles to achieve a new soil moisture equilibrium. Where construction is applied to a site with abnormal moisture conditions, soil moisture equilibrium can take much longer.

The site classification must be reconsidered if any site cut exceeds 0.5m or if the site is filled to more than 0.4 m depth. Adverse site conditions undetected by the agreed testing program may also impact on the site classification, founding depth, bearing capacity and footing system nominated.

**STM recommends further geotechnical testing may be requested by a structural engineer to provide parameters necessary for a suitable footing design at this site. In accordance with AS2870:2011 testing is required to a minimum depth 1.5m below the design depth of a deep footing system. As the necessity for additional deep testing will depend on the design to be adopted please contact STM as soon as the preliminary footing design is complete.**

## 8. FOOTING DESIGN GUIDELINES

**The design of a footing system at this site shall be by engineering principles in accordance with section 4, AS2870-2011. Design by engineering principles shall be undertaken by a suitably qualified Engineer.**

All guidelines within AS2870-2011 shall be followed in the construction of footings.

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All footings must be founded to a material and depth of equivalent characteristic surface movement. The following parameters may be adopted for a design founded within the nature Silt Clay (Cl), Natural Sand, Clay (SC) and Extremely weathered rock Xw to a maximum depth of 1.8 metres. All footings must be founded to a material and depth of equivalent characteristic surface movement.

Depth (mm)	Bearing Capacity (Kpa)
0-300	N/A
300-1800	250

Table 1 - Bearing Capacities BH1-BH2, BH4-BH10

Depth (mm)	Bearing Capacity (Kpa)
0-300	N/A
300-800	250
800-900	300

Table 2 - Bearing Capacities BH3

For stiffened raft design an allowable bearing pressure of up to 50kPa may be adopted for a slab and stiffening beams founded on the stripped surface to natural Silty Clay (Cl). This bearing pressure must not be applied to fill or disturbed material.

Design of a stiffened raft must consider the reactivity of the underlying clay. We strongly recommend against founding a stiffened raft directly to the stripped surface.

**All Footings within 30m of trees:**

Due to the trees on site [REDACTED] recommends the use of a Piled Footing system. Bored Piers are to be used on this site. Piles are to be driven to a depth of at least 1.8m or rock refusal. 600mm deep strip or slab footings are to be suspended on piles on this site.

The presence of rock floaters shall be a consideration on the selection of appropriate construction techniques.

**All footings further than 30m from trees:**

[REDACTED] recommends the use of a Stiffened Raft Slab on this site. Slab edge and internal beams are to be founded to a depth of at least 600mm. The footings are to be engineer designed.

Where trees have been removed, the entire trunk and tree roots must be removed and replaced with compacted soil, to avoid differential settlement of the footing. Soil must be compacted as per AS 3798-2007, before footings can be placed in the area of removed trees and tree roots. Alternatively, piled footings can be used to beyond the influence of the removed trees, at least 1.8m deep.

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A deep footings system may be required, as specified by the design. Further testing must be undertaken to verify founding material and allowable bearing capacity for deep footing design to greater than 1.5m.

**Please note that the plan may not be to scale.** In the guidelines you refer to SADR, How to Protect Your House are not adhered to, some changes to the design may be required and STM must be notified.

If the proposed construction is in a reactive area and you wish to grow, retain or remove trees near buildings, the builder shall be advised of this prior to signing the building contract so that the engineer can design for these conditions.

Please note that the above depths are measured from the surface at the time of our investigation, and must be amended appropriately if the site is cut and or filled. Where levelling or any other uncontrolled fill is placed on site subsequent to the field investigation, the founding depths recommended in this report will need to be increased accordingly by the depth of that fill such that the base of the footings are founded in the recommended founding material.

Since soil layers may vary in depth, thickness and condition over the site, the recommended foundation depths and bearing capacities are given as a guide only. Where soft spots or filled excavations are encountered the footings may have to be locally deepened such that they are founded into the recommended medium and bearing capacity. If in doubt please contact STM to carry out an inspection.

**In accordance with the requirements of AS2870-2011, all footing excavations must be inspected by a suitably qualified engineer to verify founding depth, founding material and allowable bearing pressure. Please contact [REDACTED] to arrange for further inspection allowing sufficient time for the inspection prior to pouring any concrete.**

**9. WIND RATING**

At the time of our site visit an investigation of this site and the surrounding terrain was conducted to determine the Wind Classification Design Speed. The maximum design gust wind speed for this site is **40 m/s** based on wind speed calculations (Vh) for use in ultimate limit state design only calculated in accordance with the limitations as in AS4055 Section 1.2.

The Wind Rating for this site has been assessed as **N2**.

**10. SPACING OF CONSTRUCTION JOINTS**

**TABLE 4.2  
SPACING OF CONTRACTION JOINTS FOR UNREINFORCED  
MASONRY WALLS**

<b>Masonry wall construction and surface finish</b>	<b>Maximum joint spacing m</b>
External masonry that is face-finished, rendered and/or painted	7.0
Internal masonry that is face-finished or sheeted	6.0
Internal masonry that is rendered and/or painted	5.0
External masonry that is face-finished or sheeted in	5.0

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Table 4.2 from the Australian Standard for Masonry Structures 3700-2018

## 11. PLUMBING

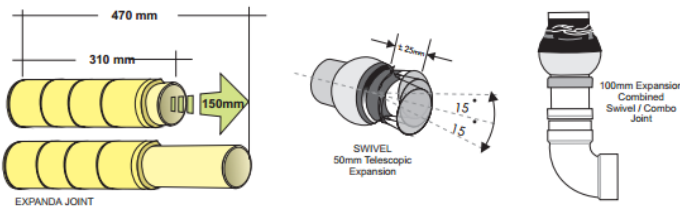
Footings shall be engineer designed and design work shall consider articulation and flexible plumbing joints to allow for ground movement. We advise that the following parameters must be followed in the plumbing design so as to protect the footings:

**Table SP 01 - SOIL CLASSIFICATION, DIFFERENTIAL MOVEMENT, GRADE, ANGLE, JOINTS LOCATION & DRAWING No'S. CHART.**

AS2870-2011 SOIL CLASSIFICATION	ON SITE SOIL CONDITIONS	DIFFERENTIAL MOVEMENT	SEWER & Stormwater GRADE	SWIVEL * (50mm Expansion)	SWIVEL/COMBO * (100mm Expansion)	EXPANDA JOINTS *	CREEP SLOPE SITES	DRAWING NUMBER
A	Most Sand & Rock sites	0 - 10mm	1:60 Minimum	Not necessary	Not necessary	Not necessary	These are termed P sites and are referred to in Drawing SP 105	N/a
S	Slightly reactive Soils	10 - 20mm						N/a
M	Moderately reactive soils	20 - 40mm						SP 100 & SP 101
H1	Highly reactive soils	40 - 60mm	1:40 Minimum	As per AS3500.5 using 2 units outside and an Expansion Joint at every riser	As necessary using either or both Bend or Straight units	At Junctions within 1 mtr of internal building footprint and every 6 mtrs.		SP 102
H2	Very highly reactive soils	60 - 75mm						SP 102A
E	Extremely reactive soils	75 + mm						SP 102A
P	Soils affected by Abnormal moisture and conditions	From.. 20 + mm	As per Differential Movement	Not applicable to suspended sub-floors	....unless suspended from slab	See AS2032-2006 Clause 6.4.2.2-4 for suspension requirements	SP 105A	

NOTE: Engineer or local Authority details take precedence over this chart

To be read in conjunction with Storm Plastics drawings shown.



GRADE RATIO	FALL IN 10 mtrs	ANGLE	GRADE %
1:100	100 mm	.57	1.0
1:80	125 mm	.71	1.25
1:60	167 mm	.95	1.65
1:50	200 mm	1.14	2.0
1:40	250 mm	1.43	2.5

\* Unless specified otherwise, these joints are to be set at 50% of total telescopic movement.

Jan. 2015, WPT.

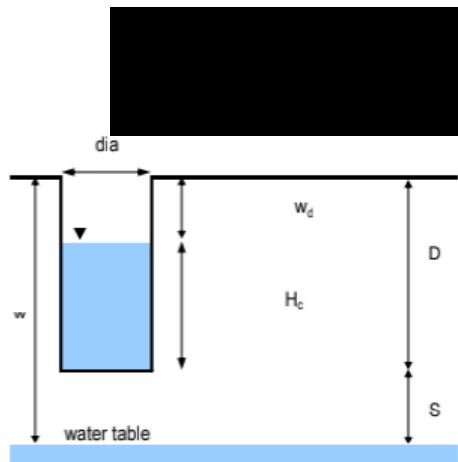
**Table SP 01** taken from the Storm Plastics web site [www.stormplastics.com.au](http://www.stormplastics.com.au)

All soils are affected by water. - Clay soils in particular react physically. They swell and shrink (expand and contract), with changes in moisture content. - Maintaining absolute stability of the moisture in the soil around a building, be it a house or a shed, is rarely achievable but much can be done to control it and minimise its effects. Adopting a "risk management" philosophy in such circumstances could well prevent litigation at a later date. STM recommends following the Storm Plastics Technical Drawings for plumbing fittings which can be found at:

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# PERCOLATION TEST REPORT

Test Fluid:	Potable Water
Holes Radius, R:	8.3cm
Hole Depth, D:	80cm
Depth to Water, Wd:	60cm
Constant Head, Hc:	20cm
Depth to Water Table (if known)	NA



sat/unsat flow ratio (cm-1) =  $\alpha^* = 0.01$

Time (min)	Change in Time (min)	Reservoir Level (cm)	Change in WL (cm)	Rate of Fall °
	(A)	(WL)	(B)	(B)÷(A)
1	1	32		
3	3	31.9	0.1	0.033
6	3	31.8	0.1	0.033
9	3	31.7	0.1	0.033
12	3	31.6	0.1	0.033
15	3	31.5	0.1	0.033

Hydraulic Conductivity,  $K = CQ/[2\pi H^2 + C\pi a^2 + (2\pi H/\alpha^*)]$

m/sec	m/day	Liter/minute
3.1E-08	0.0026784	0.003

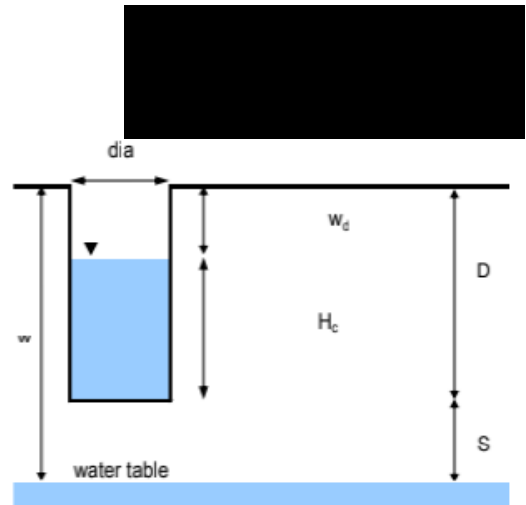
Site conditions	
Vegetation	grass
Slope	1:26
Surface Cracks	no
Water Logging	no

## Percolation Test 1

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# PERCOLATION TEST REPORT

Test Fluid:	Potable Water
Holes Radius, R:	8.3cm
Hole Depth, D:	80cm
Depth to Water, Wd:	60cm
Constant Head, Hc:	20cm
Depth to Water Table (if known)	NA



sat/unsat flow ratio (cm-1) =  $\alpha^* = 0.01$

Time (min)	Change in Time (min)	Reservoir Level (cm)	Change in WL (cm)	Rate of Fall °
	(A)	(WL)	(B)	(B)÷(A)
1	1	32		
2.5	1.5	31.9	0.1	0.07
4	1.5	31.8	0.1	0.07
5.5	1.5	31.7	0.1	0.07
7	1.5	31.6	0.1	0.07
8.5	1.5	31.5	0.1	0.07

Hydraulic Conductivity,  $K = CQ/[2\pi H^2 + C\pi a^2 + (2\pi H/\alpha^*)]$

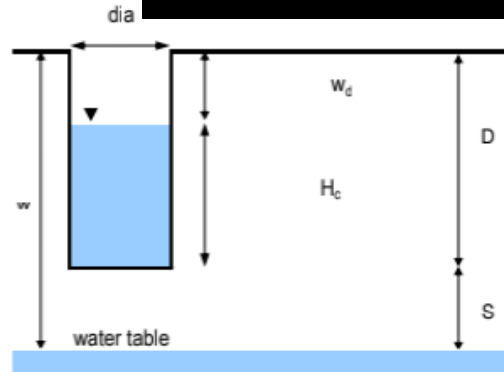
m/sec	m/day	Liter/minute
7.3E-08	0.0063072	0.00437

Site conditions	
Vegetation	grass
Slope	1:26
Surface Cracks	no
Water Logging	no

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# PERCOLATION TEST REPORT

Test Fluid:	Potable Water
Holes Radius, R:	8.3cm
Hole Depth, D:	80cm
Depth to Water, Wd:	60cm
Constant Head, Hc:	20cm
Depth to Water Table (if known)	NA



sat/unsat flow ratio (cm-1) =  $\alpha^* = 0.01$

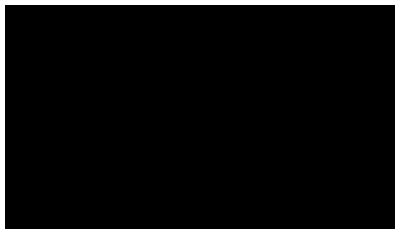
Time (min)	Change in Time (min)	Reservoir Level (cm)	Change in WL (cm)	Rate of Fall <sup>®</sup>
	(A)	(WL)	(B)	(B)÷(A)
1	1	38.3		
2	1	37.5	0.8	0.8
3	1	36.7	0.8	0.8
4	1	35.9	0.8	0.8
5	1	35.1	0.8	0.8
6	1	34.3	0.8	0.8

Hydraulic Conductivity,  $K = CQ/[2\pi H^2 + C\pi a^2 + (2\pi H/\alpha^*)]$

m/sec	m/day	Liter/minute
8.3E-07	0.071712	0.0498

Site conditions	
Vegetation	grass
Slope	1:26
Surface Cracks	no
Water Logging	no

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## 12. SITE PREPARATION GUIDELINES

All works must comply with AS 2870-2011.

Standard deemed-to-comply designs shall be in accordance with AS2870-2011 Clauses 3.2 to 3.6. These designs shall not apply to Class E or Class P sites or other instances listed in clause 3.1.1, AS2870-2011.

Where filling is required, the placement of suitable material shall be conducted in accordance with the guidelines outlined in AS3798.

The builder/engineer must be aware of the requirements for aggressive soils so that an appropriate treatment can be installed in accordance with section 5.5 of AS2870-2011. STM is not aware of any such soils in the area of the subject site. However, we recommend further testing of soils and/or groundwater to which masonry and/or concrete surfaces are to be exposed. Please contact [redacted] to arrange for testing to be undertaken.

## 13. SITE MOISTURE

Water can cause constructional problems during footing excavations. Footing excavations shall be kept free of water and loose debris/foreign materials shall be cleared prior to pouring concrete.

Sites shall be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented.

The site should be graded or drained so that water cannot pond against or near the building. The ground immediately adjacent to the building should be graded to a uniform fall of 50 mm minimum away from the building over the first metre. The subfloor space for buildings with suspended floors should be graded or drained to prevent ponding where this may affect the performance of the footing system. The site drainage recommendations should be maintained for the economic life of the building. A swale drain shall be constructed prior to any other works to divert stormwater runoff around the site. Where filling is placed adjacent to the building, the filling shall be compacted and graded to ensure drainage of water away from the building.

The development of the gardens must not interfere with the drainage requirements or the subfloor ventilation and weephole drainage systems. Garden beds adjacent to the building should be avoided. Care should be taken to avoid overwatering of gardens close to the building footings.

Planting of trees should be avoided near the foundation of a building or neighbouring building on reactive sites as they can cause damage due to drying of the clay at substantial distances.

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems. Alternatively, the footing system may be designed for the effect of trees.

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Further information on measures to protect the building foundations refer to the following document is attached:

- How To Protect Your House, Housing Engineering Design and Research Association (HEDRA)

Other documents containing useful information on protecting the building include:

- Foundations and Footing Society Victoria (FFSV) Practice Note 7
- AS287-2011, Section B2.3, SAI Global
- C.S.I.R.O. Building Technology File (BTF 18) 2011, CSIRO Publishing

Repair of leaks in plumbing, including stormwater and sewerage drainage, shall be undertaken promptly. All top soil containing grass roots shall be removed from the area on which the footing is to rest.

#### 14. EXCAVATIONS

Any vertical or near-vertical permanent excavation within 2m of the building and deeper than 0.6 m in material other than stable rock shall be adequately retained or battered. The effects of excavations on drainage or foundation drying shall be considered.

Temporary excavations in the area of the footing shall be carried out only where adequate support for the footing system is maintained. Examples of such temporary excavation include levelling of the building platform and trenching for services. Where it is expected that future excavation in the area of the footing system may be required for maintenance of underground services, provision shall be made for continued support of the footings, for example by provision of piers to beneath the expected excavation level.

NOTE: Excavations should not extend below a line drawn 30° to the horizontal for sand, or 45° to the horizontal for clay, from the bottom edge of the edge beam, strip footing, pier or any other structure without prior assessment in accordance with engineering principles.

Service trenches & easements must be checked on site by a land surveyor and during onsite earthworks site preparation and excavation.

The presence of service trenches and easements is a common cause of unsatisfactory performance of foundations through either direct undermining or through the introduction of undesirable levels of soil moisture. For this reason, we recommend:

- Where footings/edge beams are located in close proximity or adjacent to a backfilled service trench or easements, the footing/edge beam must be deepened and founded 500mm below the level of plane of inclination of 30° (for sand) and 45° (for clay) above horizontal extending outwards from the base of the trench or filling (as illustrated by figure C6.1 AS 2870-2011). This includes service trenches which may be present on adjacent sites or on site prior to the current development (such as abandoned stormwater and sewer trenches);

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- Significant additional deepening (greater than nominal depth of 1.50m) may necessitate the footing/edge beam to be suspended to an engineer design, and this office should be contacted for further advice;

**Please note that the plan may not be to scale.**

- All service trenches should be sloped away from the building as per AS2870-2011 section 5.6.3(b, c and d) and be backfilled with non-permeable material as per AS2870-2011 section 5.6.3 (b).

- Backfill material should ideally comprise weak mix concrete, mortar or (preferably) cement stabilised soil, or clean adequately tamped/compacted clay placed marginally wet of optimum. Permeable or granular material such as sand, gravel, ¼ minus, or building rubble, should not be used to backfill service trenches in proximity to building foundations.

## 15. GARDEN CONTAMINATION

If the garden area is to be used for growing vegetables or fruit STM recommends testing for heavy metals. This can be done through Macquarie University Vegesafe program:

<https://research.science.mq.edu.au/vegesafe/>

Or contact STM for broad spectrum contamination testing.

## 16. BEYOND THE SCOPE OF THIS REPORT

The report does not include:

- 1) Contamination Site Assessment
- 2) Investigation of Saline and acid sulphate conditions
- 3) Agricultural testing (nutrients of the soil)
- 4) Hydrology of the site.
- 5) A history study of the site showing past land uses and topography e.g. wells, trees, gullies.
- 6) Abnormal moisture conditions where there is no indication of differences across the site physically (existing structures, trees, dams, springs, creeks) or visual, tactile assessment.

Contact STM if you require further testing of this site.

## 17. IMPORTANT INFORMATION ABOUT CLASSIFICATION REPORTS

Classification reports are based on a unique set of project specific issues. This report should not be used:

- When the nature of structure detailed at the commission stage varies;
- When the size of the structure alters;
- When the structure positioning changes;
- When there is a change in ownership;
- For un-tested areas.

STM cannot accept responsibility for developments which have been changed without consultation.

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Most geotechnical findings are estimates based on the opinion of experienced professionals. Even when optimum testing is undertaken subsurface conditions may differ from those inferred by the report. No matter how qualified a person is and no matter how comprehensive an exploration program is, neither can reveal what is hidden by earth, rock and time. Subsurface changes may be more gradual or abrupt than a report may indicate

and for this reason we recommend that you retain [REDACTED] Geotechnical Engineering 's services throughout the construction stage.

Subsurface conditions can change over time and construction decisions should not be based on affected reports. Consultation with STM about effects of time on site conditions is advised to enable educated decisions about undertaking additional testing.

Costly misinterpretations can occur when other professionals interpret classification reports and for this reason STM should be retained to work with other suitably qualified consultants to ensure adequacy of their plans and specifications.

Reports and logs must never be read independently. In order to minimise delays, disputes and unanticipated costs other professionals and contractors should be given ready access to the complete classification report.

Important standard clauses appear throughout this report. They must be read carefully and in context with the site tested. STM will gladly assist with any questions you may have.

Should any queries arise, or should conditions differ from those described in this report upon footing excavations, please contact the undersigned prior to continuing any works.

Yours faithfully

[REDACTED]

- Appendix A - Borelogs (10)
- Appendix B - Unified Soil Classification (1)
- Appendix C - Site Sketch (1)

[REDACTED]

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 1  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.3		
<b>500</b>					5.1		
<b>700</b>	<i>Becomes firm, dry Containing Calcium Carbonate</i>				4.5		
<b>1000</b>	<i>Containing Calcium Carbonate</i>				4.3		
<b>1500</b>	Grading to <b><u>SANDY CLAY (SC)</u></b> <i>Dry, brown, grey, stiff Containing Gravel</i>				5.1		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				5.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 2  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.3		
<b>500</b>					5.1		
<b>700</b>	<i>Becomes firm, dry Containing Calcium Carbonate</i>				4.5		
<b>1000</b>	<i>Containing Calcium Carbonate</i>				4.3		
<b>1500</b>	<i>Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, stiff Containing Gravel</i>				5.1		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				5.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 3  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine \_\_\_\_\_



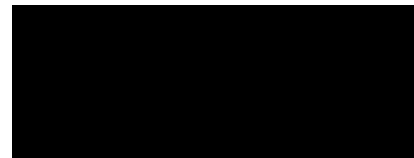
DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
300	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
500					5.8+		
		GNO					
900	<b><u>UTP ROCK</u></b> <i>Basalt</i>						

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 4  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine



DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
<b>500</b>	<i>Containing Calcium Carbonate</i>				5.5		
<b>1000</b>	<i>Containing Calcium Carbonate</i>				4.6		
<b>1500</b>	<i>Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, stiff Containing Gravel</i>				5.3		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				5.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 5  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine \_\_\_\_\_

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
300	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.6		
500					5.6		
1000	Grading to <b><u>SANDY CLAY (SC)</u></b> <i>Dry, brown, grey, firm Containing Calcium Carbonate</i>				4.2		
1500	<i>Containing Gravel</i>				3.8		
		GNO					
1800	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				4.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 6  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

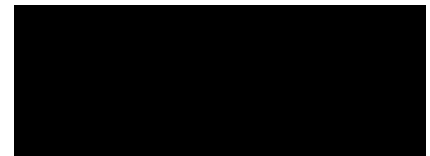
DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> Grass, silt, clay, slightly moist to dry, medium compact						
300	<b><u>SILTY CLAY (CI)</u></b> Intermediate plasticity, slightly moist, brown, grey, stiff				5.8+		
500					5.8+		
900	Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, firm Containing Gravel Containing Calcium Carbonate				4.3		
1000	Containing Gravel Containing Calcium Carbonate				4.6		
1500	Containing Gravel				4.3		
		GNO					
1800	<b><u>END OF BOREHOLE</u></b> Containing Gravel				4.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 7  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine



DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
<b>500</b>					5.8+		
<b>900</b>	<i>Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, firm Containing Gravel Containing Calcium Carbonate</i>				4.3		
<b>1000</b>	<i>Containing Gravel Containing Calcium Carbonate</i>				4.6		
<b>1500</b>	<i>Containing Gravel</i>				4.3		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				4.3		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 8  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
<b>500</b>	<i>Containing Gravel</i>				5.8+		
<b>900</b>	<i>Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, firm Containing Gravel Containing Calcium Carbonate</i>				4.2		
<b>1000</b>	<i>Containing Gravel Containing Calcium Carbonate</i>				4.3		
<b>1500</b>	<i>Containing Gravel</i>				4.2		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				4.2		

ABBREVIATIONS PER APPENDIX

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PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 9  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
<b>500</b>					5.8+		
<b>700</b>	<i>Becomes dry Containing Calcium Carbonate</i>				5.2		
<b>1000</b>	<i>Grading to <b><u>SANDY CLAY (SC)</u></b> Dry, brown, grey, firm Containing Calcium Carbonate</i>				4.5		
<b>1500</b>	<i>Containing Gravel</i>				4.8		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				4.8		

ABBREVIATIONS PER APPENDIX

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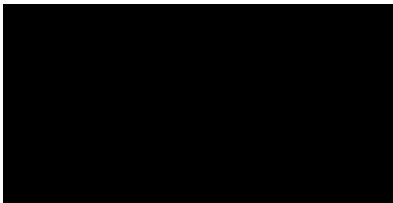
PROJECT NO.016465  
 DATE: 13/02/2026  
 HOLE LOCATION: *Per Sketch*

HOLE NO.: 10  
 METHOD: Mechanical Push Tube  
 WEATHER CONDITIONS: Fine

DEPTH (mm)	SOIL & ROCK DESCRIPTION	GROUND WATER	TREE ROOTS	DYNAMIC CONE PENETROMETER (Blows per 100mm)	POCKET PENETROMETER (1kg per 1cm <sup>2</sup> )	EXISTING FOOTING (mm)	DEPTH (mm)
	<b><u>FILL</u></b> <i>Grass, silt, clay, slightly moist to dry, medium compact</i>						
<b>300</b>	<b><u>SILTY CLAY (CI)</u></b> <i>Intermediate plasticity, slightly moist, brown, grey, stiff</i>				5.8+		
<b>500</b>					5.8+		
<b>800</b>	Grading to <b><u>SANDY CLAY (SC)</u></b> <i>Dry, brown, grey, firm Containing Gravel Containing Calcium Carbonate</i>				4.1		
<b>1000</b>	<i>Containing Gravel</i>				3.8		
<b>1500</b>	<i>Containing Gravel</i>				4.0		
		GNO					
<b>1800</b>	<b><u>END OF BOREHOLE</u></b> <i>Containing Gravel</i>				4.0		

ABBREVIATIONS PER APPENDIX

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### COARSE GRAINED SOILS

- (GW) Well graded gravels and gravel-sand mixtures, little or no fines.
- (GP) Poorly graded gravels and gravel-sand mixtures, little or no fines.
- (GM) Silty gravels, gravel-sand-silt mixtures.
- (GC) Clayey gravels, gravel-sand-clay mixtures.
- (SW) Well graded sands and gravelly sands, little or no fines.
- (SP) Poorly graded sands and gravelly sands, little or no fines.
- (SM) Silty sand, sand-silt mixtures.
- (SC) Clayey sands, sand-clay mixtures.

### FINE - GRAINED SOILS

- (ML) Inorganic silts, very fine sands, rock flour, silty or clayey fine sands.
- (CL) Inorganic clays of low to low plasticity, gravelly clays, sandy clays, silty clays, lean clays.
- (CI) Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.
- (OL) Organic silts and organic silty clays of low plasticity.
- (MH) Inorganic silts, micaceous or diatomaceous fine sands or silts, elastic silts.
- (CH) Inorganic clays of high plasticity, fat clays.
- (CH+) Inorganic clays of very high plasticity, fat clays.
- (OH) Organic clays of medium to high plasticity.
- (Pt) Peat, muck and other organic soils.

### WEATHERING OF ROCK

- Xw Extremely weathered rock
- Hw Highly Weathered Rock
- Dw Distinctly weathered rock
- Sw Slightly weathered rock
- Fr Fresh rock

- GNO Groundwater not observed
- GW Groundwater

- UTP Unable to penetrate
- DS Disturbed sample

### GEOLOGICAL SYMBOL

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# SITE SKETCH

SKETCH ONLY :- Not To Scale



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Appendix C

**JOB NUMBER: 016465**

**DATE: 13/02/2026**

**PT1** Percolation Test

- TEST LOCATION (Approx)
- FENCED BOUNDARY
- UNFENCED BOUNDARY
- Y:X SLOPE
- TREE