

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 33	St. Name: NATHALIA ST
Suburb/Locality: BROADMEADOWS		Postcode: 3047

Formal Land Description * Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details. Add Address

The Proposal i **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read: [How to Complete the Application for Planning Permit Form](#)

CONSTRUCTION OD A SINGLE STOREY DWELLING TO THE REAR OF AN EXISTING DWELLING ON A LOT WITHIN A MELBOURNE AIRPORT ENVIRONS OVERLAT (MAE02)

📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions i

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

📎 Provide a plan of the existing conditions. Photos are also helpful.

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Title Information i

5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details i

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

*Please provide at least one contact phone number **

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

[Redacted Name Field]

Suburb/Locality: [Redacted] State: VIC Postcode: [Redacted]

Contact person's details *

Same as applicant (if so, go to 'contact information')

Name:

[Redacted Name Field]

[Redacted Contact Details]

Name:

Same as applicant

[Redacted Name Field]

[Redacted Owner Details]

Owner's Signature (Optional):

Date:

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day / month / year

Declaration i

7 This form must be signed by the applicant *

- ⚠** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

Date: 2/030/2026

day / month / year

Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**

No Yes

If 'yes', with whom?:

Date:


day / month / year

Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09110 FOLIO 240

Security no : 124132570116C
Produced 02/03/2026 08:17 AM

LAND DESCRIPTION

Lot 605 on Plan of Subdivision 096700.
PARENT TITLE Volume 08864 Folio 869
Created by instrument LP096700 21/10/1975

REGISTERED PROPRIETOR

Estate Fee Simple

Solo

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW474216R 20/01/2023
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP096700 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 33 NATHALIA STREET BROADMEADOWS VIC 3047

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 20/01/2023

DOCUMENT END

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LP 96700
EDITION 3
PARISH/FIELD/CHART 25

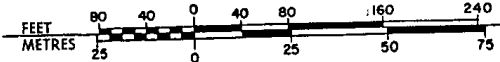
2 SHEETS
SHEET 1

PLAN OF SUBDIVISION OF PART OF CROWN PORTIONS 10,14 AND PART OF FORMER GOVERNMENT ROAD PARISH OF WILL WILL ROOK COUNTY OF BOURKE SCALE FEET	APPROPRIATIONS <i>Brown: Way and drainage. Blue: Drainage and sewerage. Green: Sewerage.</i>	ENCUMBRANCES
	OTHER NOTES Lot 477 and lots 494 to 585 are omitted. R.M.s 6LPipes 1"x 1/2" dia. placed at intersections of all splayed corners. R.M.s shown thus * are 1"sq. x 3' iron bars set in concrete.	

V.8864 F.869
V.8950 F.934

APPROVED 15/10/75
COLOUR CONVERSION

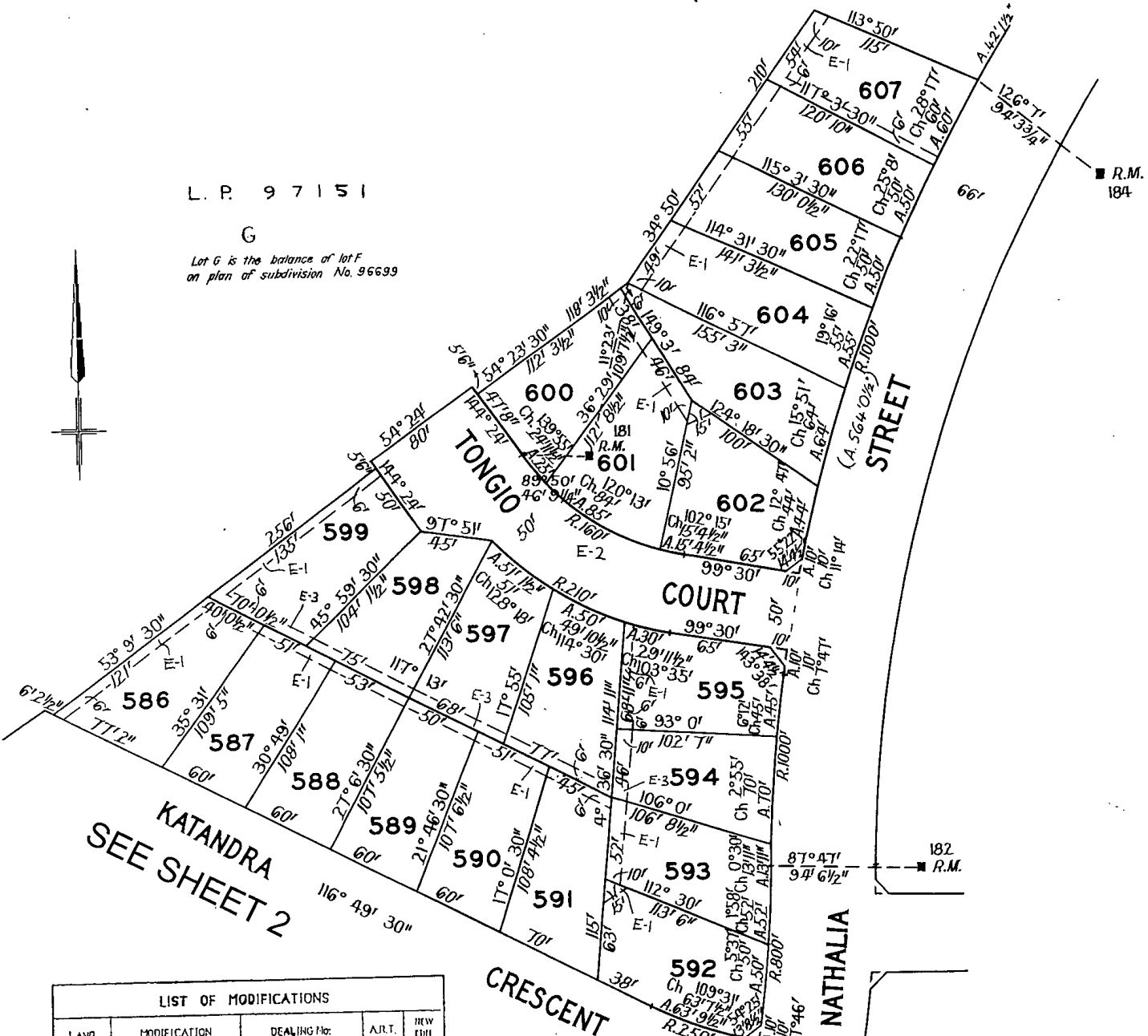
BLUE = E-1
BROWN = E-2
GREEN = E-3



L.P. 97151

G

Lot G is the balance of lot F
on plan of subdivision No. 96699



KATANDRA
SEE SHEET 2

LIST OF MODIFICATIONS				
LAND	MODIFICATION	DEALING No.	A.U.T.	NEW Ebit
RESERVE	SUBDIVISION	PS 345164	AD	2
RESERVE	REMOVAL OF DRAINAGE & SEWERAGE EMENT	PS 345164	ZTC	3

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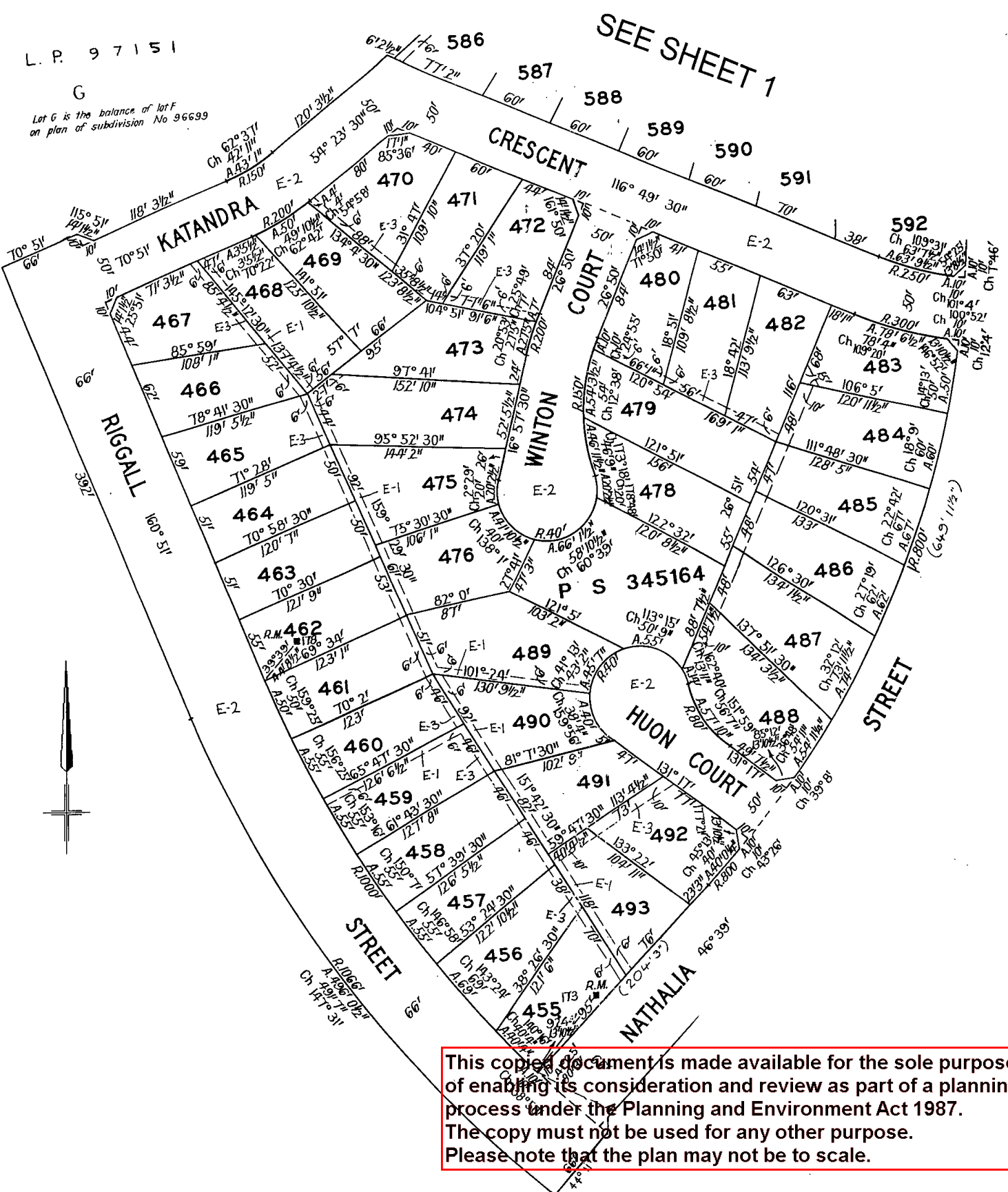
2 SHEETS
SHEET 2

L.P. 97151

G

Lot G is the balance of lot F
on plan of subdivision No 96699

SEE SHEET 1



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Townhouse and Low-Rise Code

Written Statement checklist

33 Nathalia Street, BROADMEADOWS Vic 3047

Under clause 55.01 (Application requirements) of the planning scheme an application must be accompanied by “a written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines”.

This checklist can be used to complete the written statement.

Where all the applicable standards shaded in grey are met, an objector has no right of appeal.

Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B2-1 Street setback (Clause 55.02-1)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Unchanged.
Standard B2-2 Building height (Clause 55.02-2)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Maximum building measured at 4.815m above natural ground line.
Standard B2-3 Side and rear setbacks (Clause 55.02-3)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	U2 have garage wall on north boundary, with side setback at 1.0m min. Diagrams B4-2.1 and B2-3.1 are shown on the elevations to demonstrate compliance.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B2-4 Walls on boundaries (Clause 55.02-4)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	U2 has garage wall on boundary measured at 6.48m with average height of 3.19m.
Standard B2-5 Site coverage (Clause 55.02-5)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	The proposal has a site coverage of 45.2%
Standard B2-6 Access (Clause 55.02-6)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Total access width is 3m x 2 = 6.0m 6.0m / 15.24m (frontage) = 39.4%
Standard B2-7 Tree canopy (Clause 55.02-7)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Tree canopy plan was completed to show total canopy area of 67.0m ² @ 10.5% (Min. required is 10%) Deep soil calculation shown on canopy plan.
Standard B2-8 Front fences (Clause 55.02-8)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Existing fence retained.
Standard B3-1 Dwelling diversity (Clause 55.03-1)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	All units contain a kitchen, bathrooms, and bedroom at the ground floor.
Standard B3-2 Parking location (Clause 55.03-2)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	Parking and driveways for both units are private.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-3 Street integration (Clause 55.03-3)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	U2 has passive surveillance of the accessway via direct view from Meals area and Bed 4. Individual water and electricity meter are proposed for U2 . Communal mailbox for U1 and U2 proposed within the front setback.
Standard B3-4 Entry (Clause 55.03-4)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	U2 entry area is covered by roof, directly accessible and has a direct line of sight from the accessway with a min. area of 3.6m ² and min. dimension of 1.28m.
Standard B3-5 Private open space (Clause 55.03-5)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	Unit 1: 111.4m ² Unit 2: 67.3m ² Secluded private open space provide to the rear of each dwelling.
Standard B3-6 Solar access to open space (Clause 55.03-6)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	There is no structure to the north of U2 SPOS.
Standard B3-7 Functional layout (Clause 55.03-7)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	For U2 , all bedroom dimensioned on the plans with minimum 3.0x3.0m. for standard bedrooms, and min. 3.3 x 4.1m for main bedroom. Main ground floor living area is dimensioned at min. 4.5x5.4m, with an min. area of 24.3m ² .

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-8 Room depth (Clause 55.03-8)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	The depth of a single aspect, open plan, habitable room combining the living area, dining area and kitchen is 8.85m (Max. 9m), with 3m high ceiling and 0.45m deep eave beyond the glazed sliding door.
Standard B3-9 Daylight to new windows (Clause 55.03-9)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	For U2 , all windows proposed face an outdoor area space clear to the sky with a minimum dimension of 1.0m.
Standard B3-10 Natural ventilation (Clause 55.03-10)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	For U2 , cross flow ventilation shown min. breeze path of max. of 14.1m and min. 9.3m.
Standard B3-11 Storage (Clause 55.03-11)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	U1 & U2 are each provided with an outdoor storage shed at 6m ³ .
Standard B3-12 Accessibility for apartment developments (Clause 55.03-12)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	Not applicable
Standard B4-1 Daylight to existing windows (Clause 55.04-1)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	There are no existing windows affecting the development.
Standard B4-2 Existing north-facing windows (Clause 55.04-2)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	There are no existing north facing windows affecting the development.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B4-3 Overshadowing secluded open space (Clause 55.04-3)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	Shadow diagrams show the area of No.31 Nathalia SPOS that is not overshadowed by the new development is greater 50%, at any time between 9 am and 3 pm on 22 September.
Standard B4-4 Overlooking (Clause 55.04-4)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	No overlooking issues affecting the proposed development.
Standard B4-5 Internal views (Clause 55.04-5)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	No internal view issues affecting the proposed development.
Standard B5-1 Permeability and stormwater management (Clause 55.05-1)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	Site permeability is 31.6%. WSUD/SDA completed to show 101% rating
Standard B5-2 Overshadowing domestic solar energy systems (Clause 55.05-2)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes, if standard not met <input checked="" type="checkbox"/> No, if standard met	No solar energy systems on adjoining dwellings.
Standard B5-3 Rooftop solar energy generation area (Clause 55.05-3)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	For U2 , a min. total area of 41.4m ² nominated on roof plan for solar system for 4 bedroom dwellings, orientated towards the north.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B5-4 Solar protection to new north-facing windows (Clause 55.05-4)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	For U2 , the 1.5m high north facing window to Bed 4 is shaded by 1.64m deep fixed shading device in the form of 1.19m porch roof + 0.45m deep eave. (Min. required is 1.5m x 25% = 0.375m.)
Standard B5-5 Waste and recycling (Clause 55.05-5)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	Individual bin area proposed to each unit away for public view, with a min. area of 2.1m ²
Standard B5-6 Noise impacts (Clause 55.05-6)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	All mechanical plant are not adjacent to bedroom.
Standard B5-7 Energy efficiency for apartment developments (Clause 55.05-7)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	No, irrespective of whether the standard is met or not.	SDA report provide to show preliminary energy report in compliance with NatHERS requirements

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AREA SCHEDULE:

UNIT 1 (EXISTING)
 GROUND FLOOR AREA: 103.7 m²
 PORCH: 1.4 m²
 TOTAL AREA: 11.3 SQ 105.1 m²
 POS: 114.8 m²
 SPOS: 31.1 m²

UNIT 2
 GROUND FLOOR AREA: 118.0 m²
 GARAGE: 35.0 m²
 PORCH: 2.9 m²
 TOTAL AREA: 17.8 SQ 165.4 m²
 POS: 63.0 m²
 SPOS: 59.0 m²

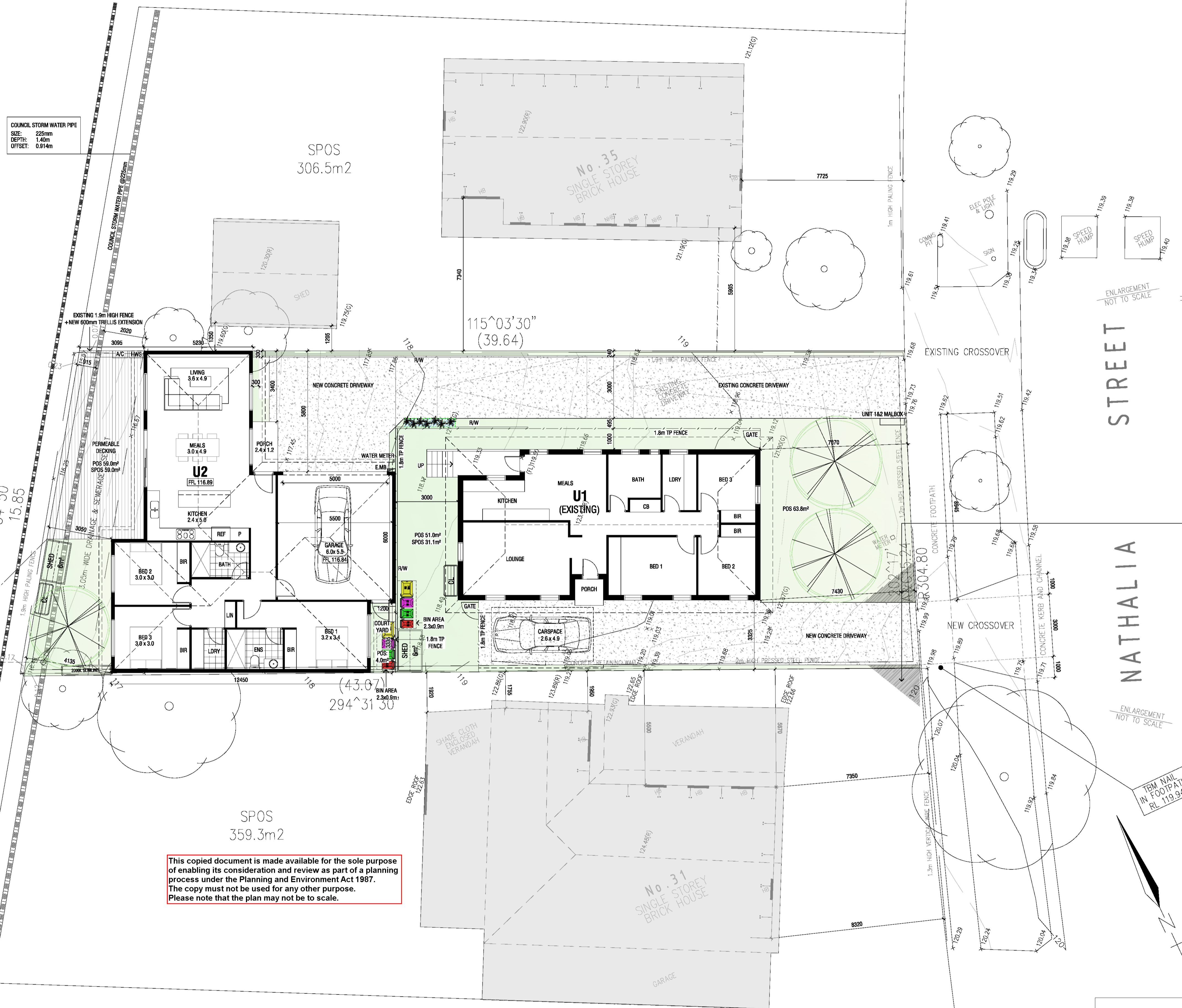
SITE
 SITE AREA: 636.5 m²
 SITE COVERAGE: 41.0% 261.1 m²
 SITE PERMEABILITY: 31.7% 202.1 m²
 GARDEN AREA: 30.0% 191.3 m²
 U1 LOT AREA: 300.4 m²
 U2 LOT AREA: 336.1 m²

COUNCIL STORM WATER PIPE
 SIZE: 225mm
 DEPTH: 1.40m
 OFFSET: 0.814m

RESERVE

34°50'
15.85

Y/W SEWER DETAILS:
 SIZE: 150 VC
 DEPTH: 3.52m
 OFFSET: 1.14m

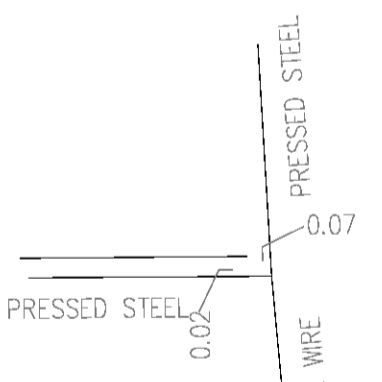


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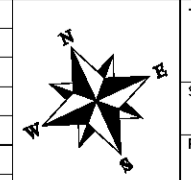
NOTE:
 HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2M ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5M ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED, OR ADJACENT LANDSCAPED AREAS PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900MM IN HEIGHT.

ENLARGEMENT NOT TO SCALE

ENLARGEMENT NOT TO SCALE



TRM NAIL IN FOOTPATH
 RL 119.34

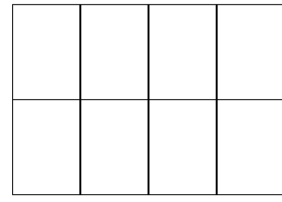


STATUS:	33 NATHALIA STREET BROADMEADOWS			
REV:	GROUND FLOOR PLAN			
SCALE AT A1:	DATE:	DRAWN:	CHECKED:	
1:100	APR 2026			
PROJECT NO:	DRAWING NO:	REVISION:		
33NAT	TP01			

LEGEND



NOMINATED ROOF AREA FOR SOLAR PV LOCATION

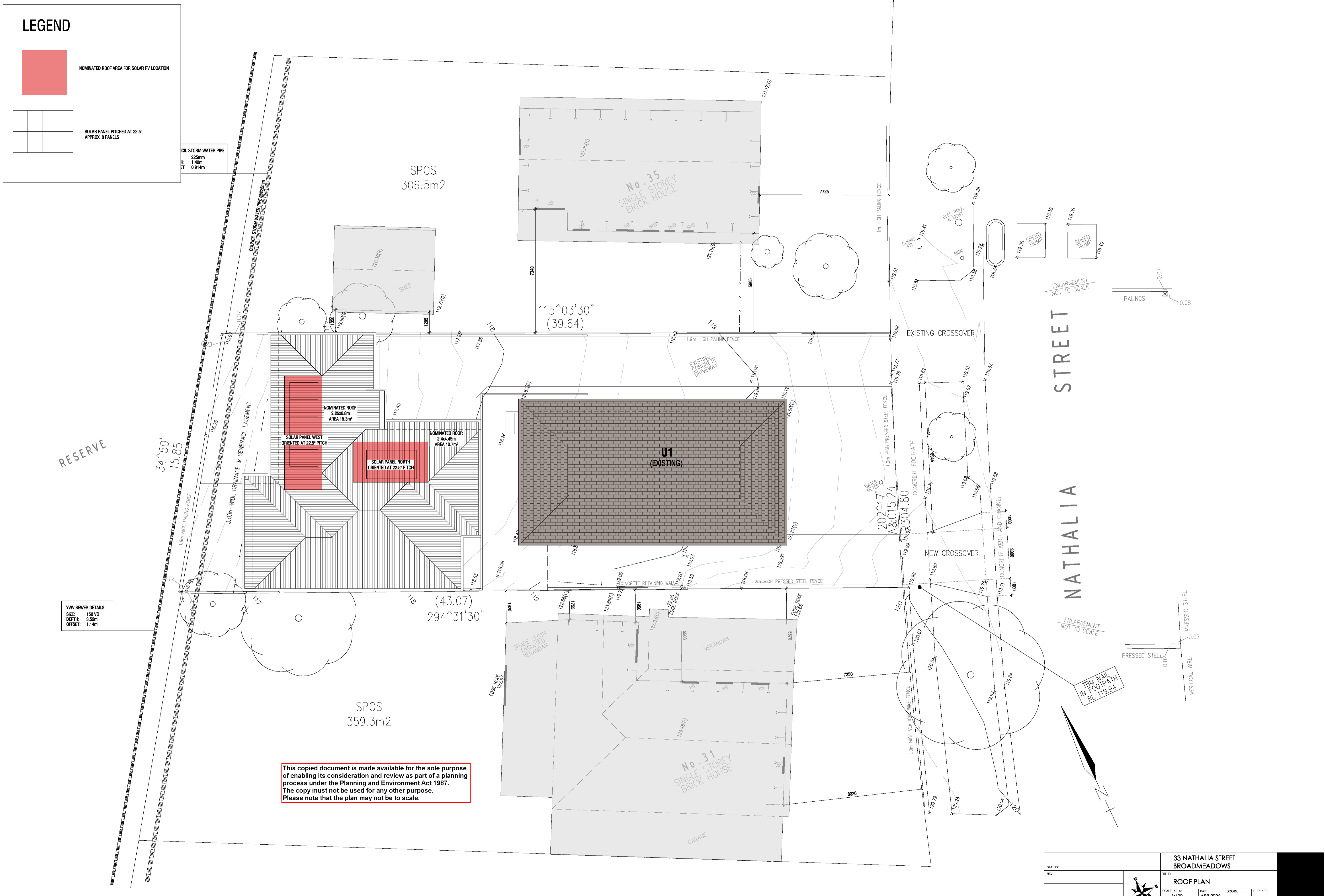


SOLAR PANEL PITCHED AT 22.5°. APPROX. 8 PANELS

SOIL STORM WATER PIPE
 225mm
 H: 1.40m
 ET: 0.814m

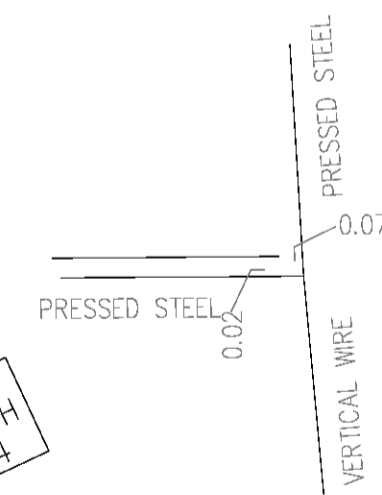
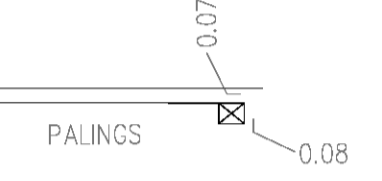
Y/W SEWER DETAILS:
 SIZE: 150 VC
 DEPTH: 3.52m
 OFFSET: 1.14m

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ENLARGEMENT NOT TO SCALE

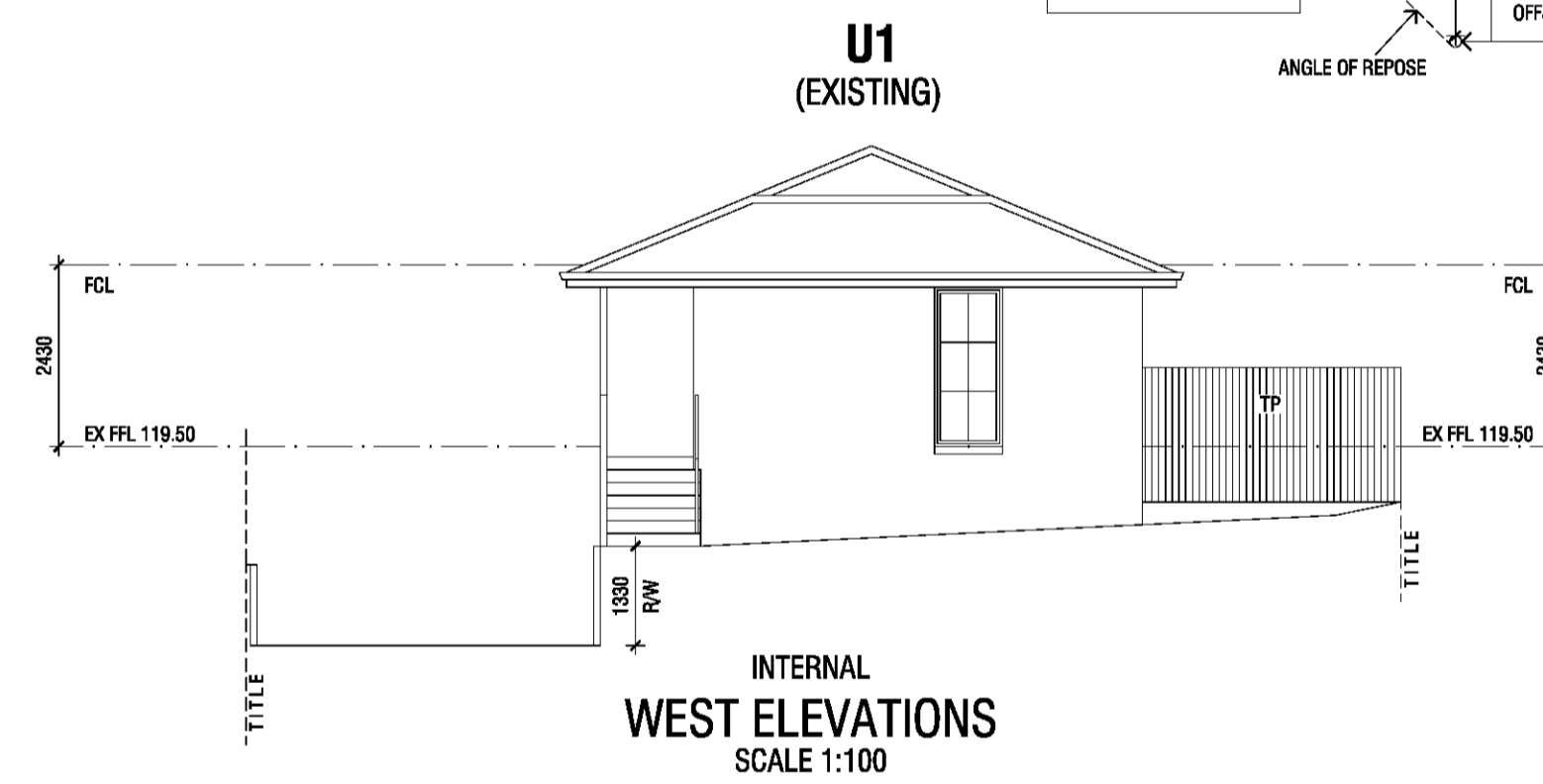
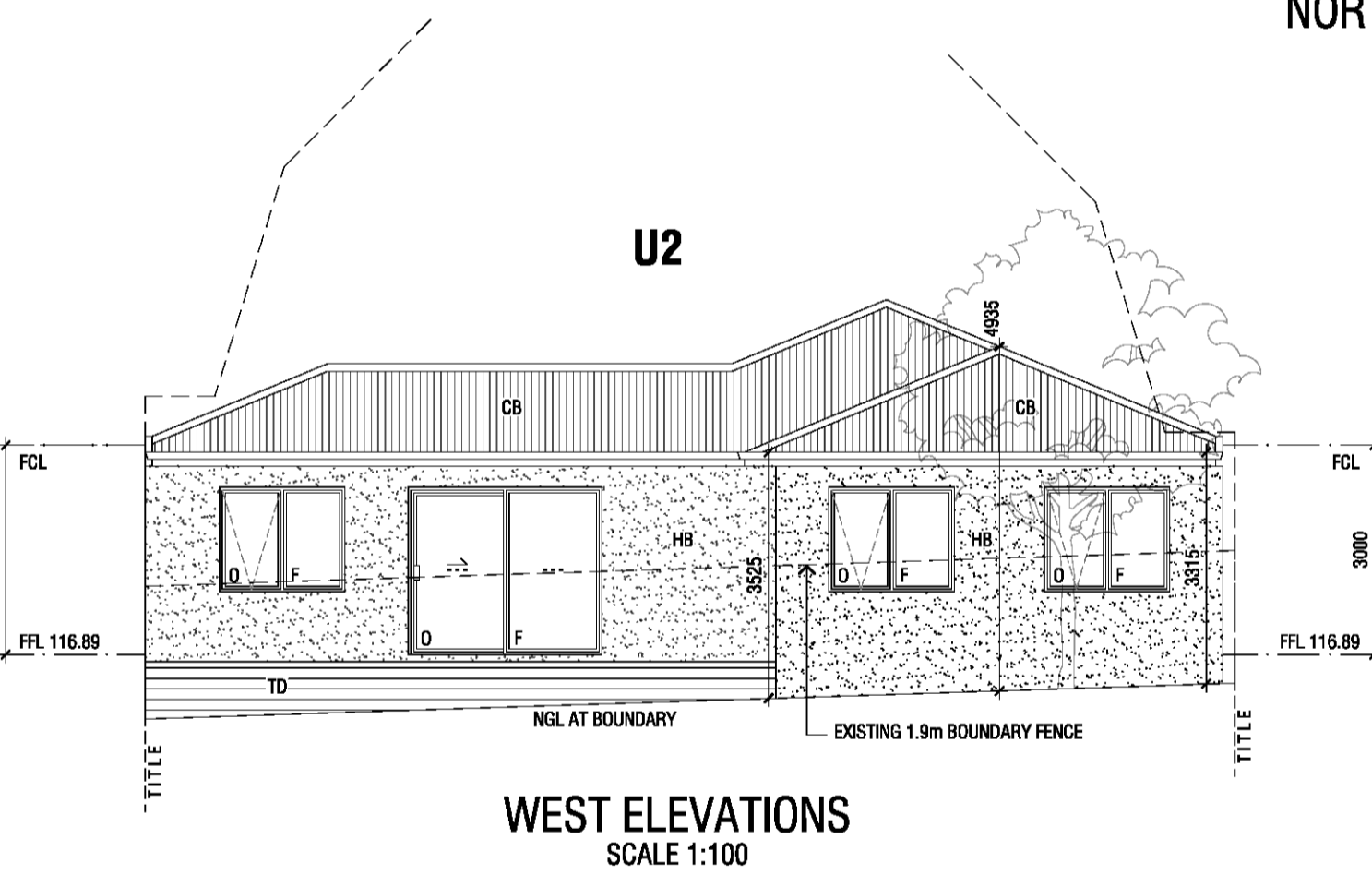
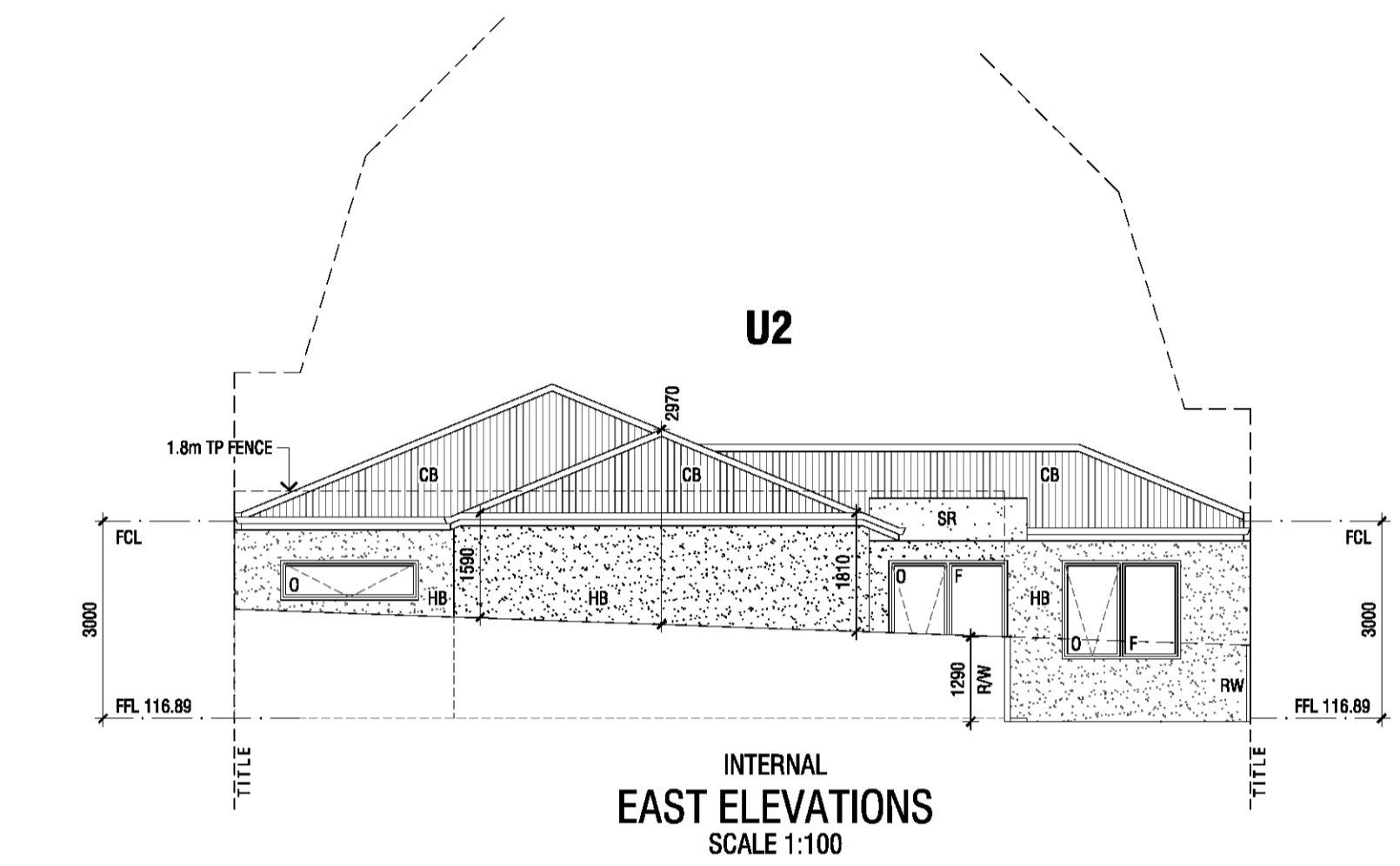
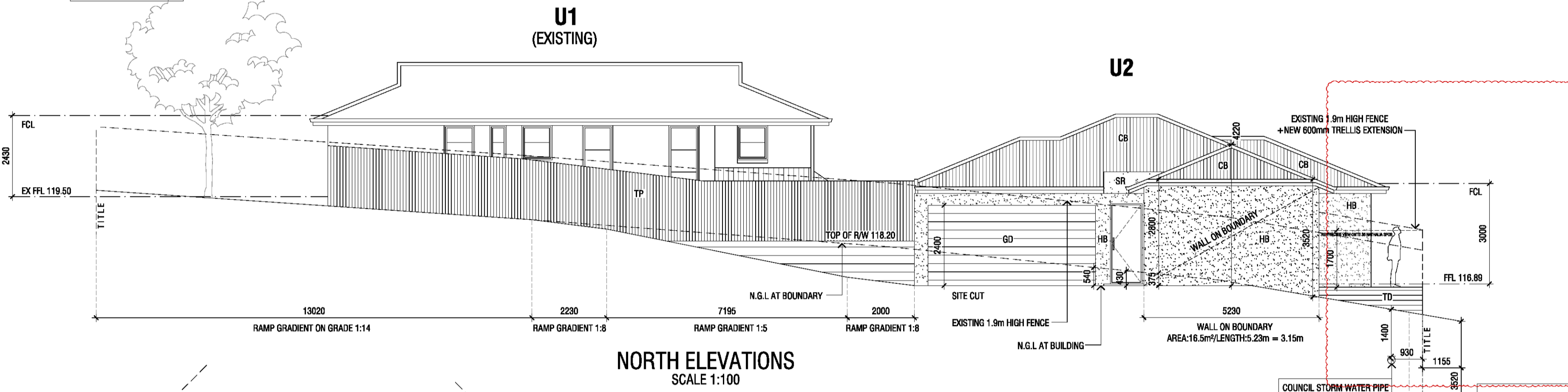
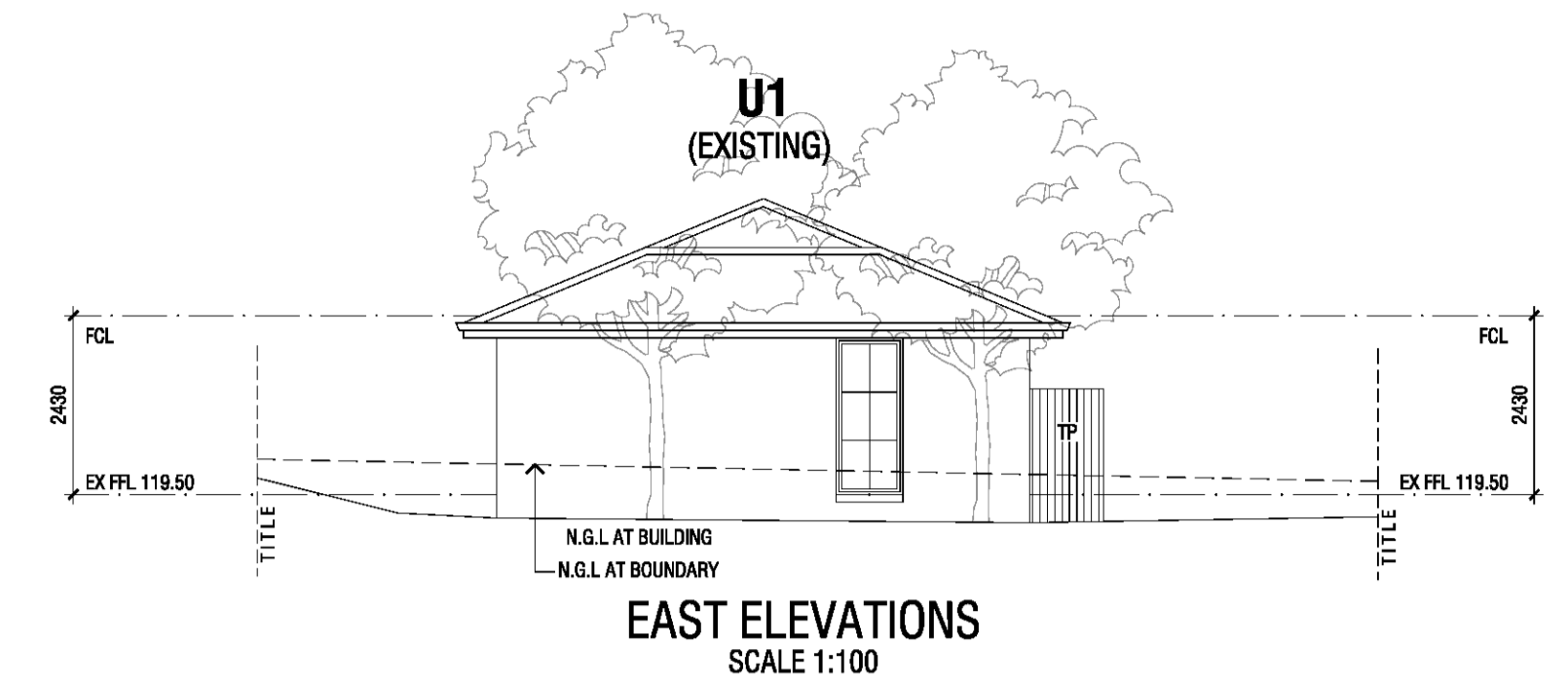
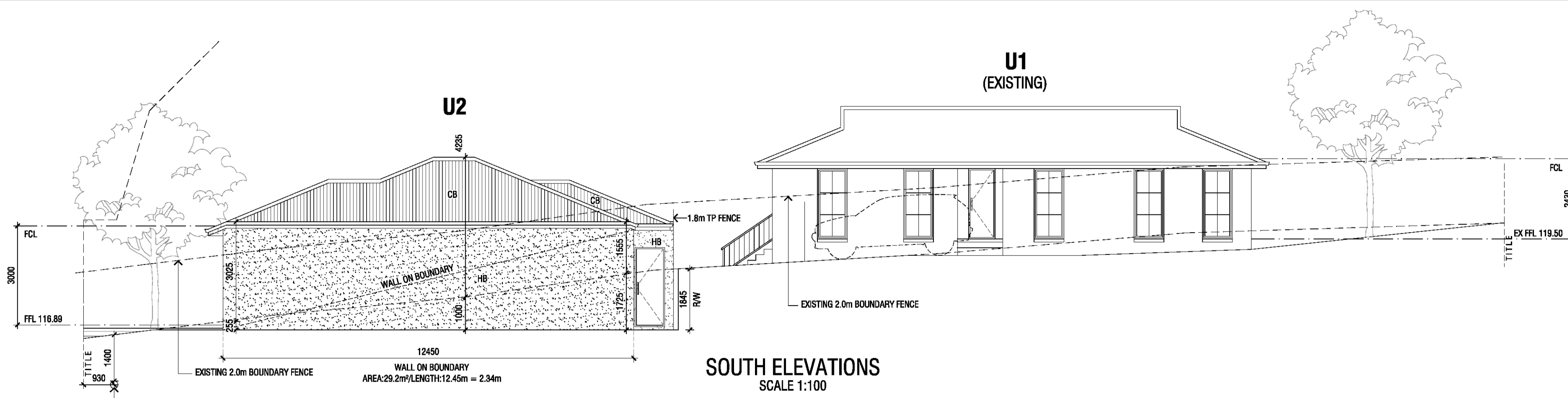
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TRM NAIL IN FOOTPATH RL 119.34



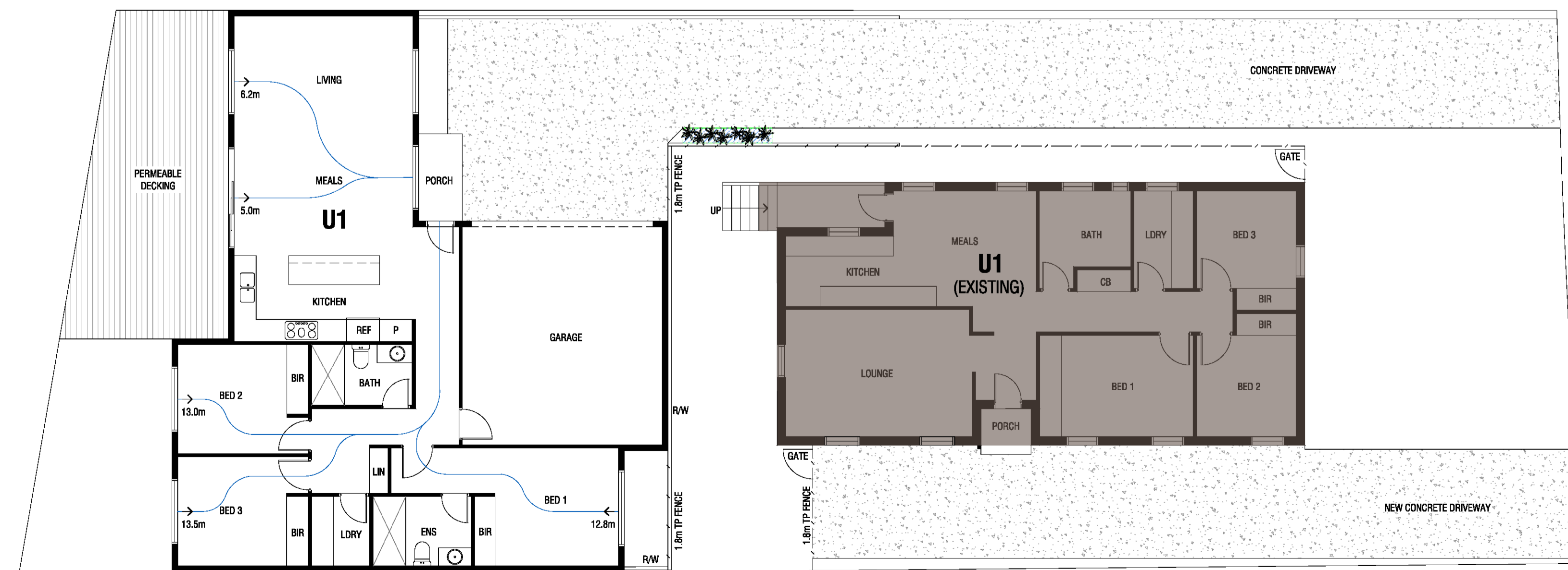
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SCALE AT A1:	DATE:	DRAWN:	CHECKED:	
1:100	APR 2026			
PROJECT NO:	DRAWING NO:	REVISION:		
33NAT	TP02			



MATERIAL/COLOUR SCHEDULE:

	CB COLORBOND ROOF COLORBOND: MONUMENT		FB FACEBRICK AUSTRAL INDUSTRIAL CHAR
	ENTRY DOOR BLACK TIMBER LOOK		FASCIA/GUTTER BLACK
	GD GARAGE DOOR COLORBOND: BLACK OR SIMILAR		CONCRETE DRIVEWAY LIGHT GREY SA 0.40 SRI 66
	OBSCURED WINDOW (OB) OBSCURE GLAZING (NOT FILM) WITH A MAXIMUM TRANSPARENCY OF 25% TO A MINIMUM HEIGHT OF 1.7m ABOVE FINISHED FLOOR LEVEL.		TP. TIMBER PALING FENCE PAINT FINISH
	WINDOW FRAME BLACK		

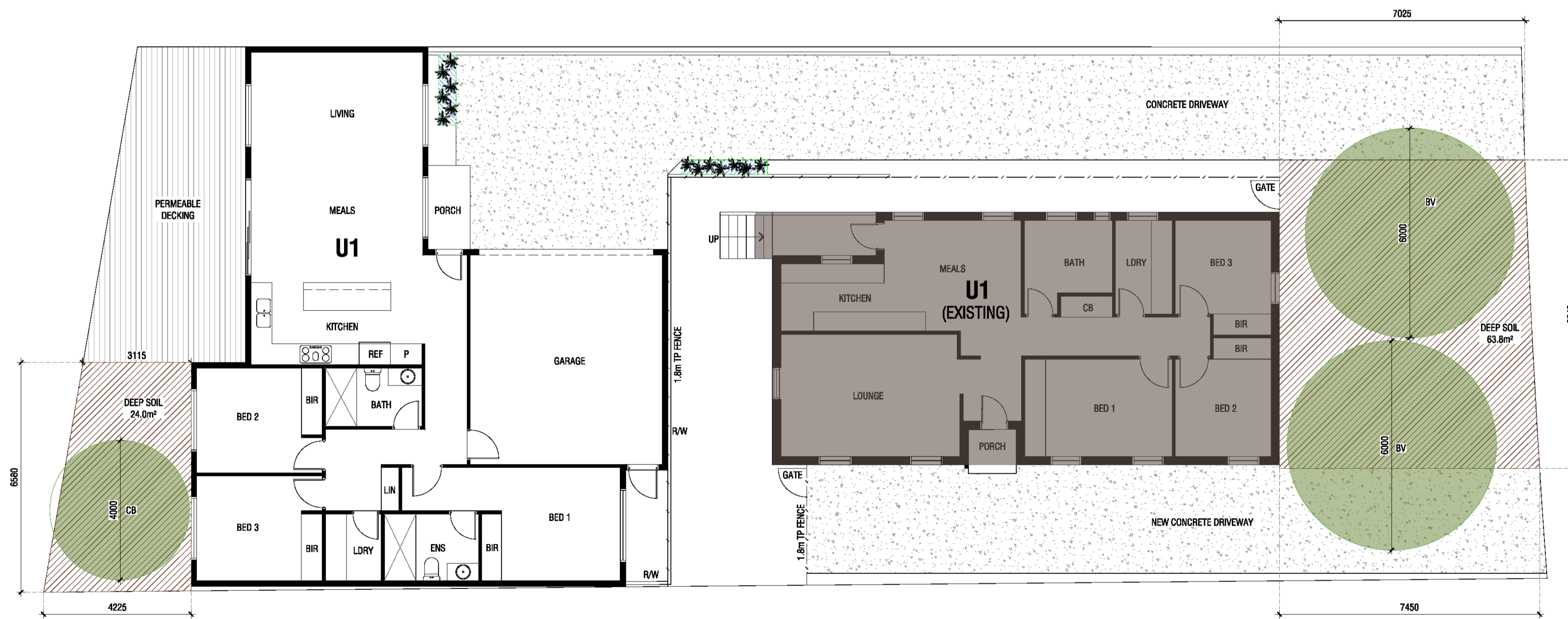
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STATUS:	33 NATHALIA STREET BROADMEADOWS
REV:	TITLE: ELEVATIONS
	SCALE AT A1: 1:100
	DATE: APR 2026
	PROJECT NO: 33NAT
	DRAWING NO: TP03
	CHECKED:
	REVISION:



GARDEN AREA
 TOTAL GARDEN AREA: 191.3m²
 GARDEN PERCENTAGE: 30.0%
 SITE AREA: 636.5m²



MINIMUM CANOPY COVER AREA
DEEP SOIL AREA

TOTAL TOTAL CANOPY AREA: 68.8m²
 CANOPY COVER PERCENTAGE: 10.8%
 SITE AREA: 636.5m²

PROPOSED TREE SELECTIONS EXTRACTED FROM WHICHPLANTWHER.COM.AU

TYPE	CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
A	CB	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATE HORNBEEAM	1	40tr / MIN 1.8m HIGH	8-12m X 4-6m
A	BV	BAUHINIA VARIEGATA	WHITE ORCHID TREE	2	40tr / MIN 1.8m HIGH	6-10m X 6-10m

TREE CANOPY PLAN
 SCALE 1:100

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STATUS:	33 NATHALIA STREET BROADMEADOWS
REV:	TITLE: GARDEN AREA & TREE CANOPY
	SCALE AT A1: 1:100
	DATE: APR 2026
	DRAWN: TP04
	CHECKED:
	PROJECT NO: 33NAT
	DRAWING NO: TP04
	REVISION:

RESERVE

NATHALIA STREET

Y/W SEWER DETAILS:
 SIZE: 150 VC
 DEPTH: 3.52m
 OFFSET: 1.14m

TEMP NAIL IN FOOTPATH
 RL. 119.94



SPECIFICATIONS

SUBGRADE PREPARATION
 SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER APPROPRIATE CONDITIONS. DISTURBANCE TO NATIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. ALL LAWN AND PLANTED AREAS SUB-GRADE TO IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM. DRAINAGE FALLS TO BE SHAPED PRIOR TO TOP SOILING. TEST SUB GRADE TO BE TO DETERMINE PH, SALINITY AND GYPSUM REQUIREMENT PRIOR TO PREPARATION AND CONDITIONING. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED ACCORDING TO MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. TOPPING AREAS TO BE GRADED / DRAINED TO AVOID WATER DISCHARGE INTO ADJOINING PROPERTIES.

WEED CONTROL
 ENVIRONMENTAL WEEDS TO BE REMOVED AND DISPOSED OFF OF SITE PRIOR TO SUB GRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

SOIL PREPARATION
 SPREAD TOPSOIL IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY CAREFULLY WALKING UNTIL IT IS SETTLED AT FINISHED KERB LEVELS OR TO WITHIN 75MM BELOW EDGING LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH AS 2223-1978, AND AS FOLLOWS:
 • FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES
 • FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH
 • PH TO BE 6.0-7.0
 • TEXTURE TO BE LIGHT TO MEDIUM FRABLE LOAM
 • FREE FROM SILT MATERIAL
 IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM. LIGHTLY COMPACT TO MINIMUM DEPTH OF 100MM.

MULCH
 MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50 MM MAXIMUM BY VOLUME. SPREAD MULCH AT A CONSOLIDATED DEPTH OF 75MM.

PLANTING PROCEDURE
 FILL PLANTING HOLE WITH WATER AND ALLOW TO DRAIN COMPLETELY IF SOIL IS DRY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF MATTED OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING, ENSURING TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO BRICKS, ROCKS OR FOREIGN MATERIAL. IF SUFFICIENT MATERIAL IS NOT AVAILABLE FORM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR SOIL TYPE MUST BE SOURCED AND USED. PREVENT LARGE AIR POCKETS IN SOIL FROM OCCURRING BY FIRMLY BACKFILLING SOIL IN LAYERS THEN THOROUGHLY WATERED IN. TREES TO BE STAKED WITH TWO 2250MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND. DO NOT PLACE STAKE THROUGH THE ROOTBALL AREA. TREES ARE TO BE SECURED TO EACH STAKE WITH A STRONG, SOFT AND FLEXIBLE MATERIAL, TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS BUT FLEXIBLE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE MATERIAL MUST NOT DAMAGE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER (9/6 MONTH FORMULATION) SUCH AS OSMOCOTE IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 -50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATERLOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

PLANT ESTABLISHMENT PERIOD
 THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 13 WEEK ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER, PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE, MULCHING, STAKING AND TYING, MAINTAINED 75MM MULCH DEPTH AROUND TREE BASES THROUGHOUT MAINTENANCE PERIOD, WATER AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS, MAINTAIN WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL WEEDING, FERTILISING - 3/6 MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES, REPLACEMENT OF

DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD

IRRIGATION
 IF APPLICABLE, INSTALL IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO ALL GARDEN AREAS AND PLANTER BOXES IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS

TIMBER EDGING
 TIMBER EDGING TO BE 75MM X 25MM TREATED PINE SECURED TO 300MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM SPACINGS WITH GALVANISED SCREWS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS

DRAINAGE
 LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS

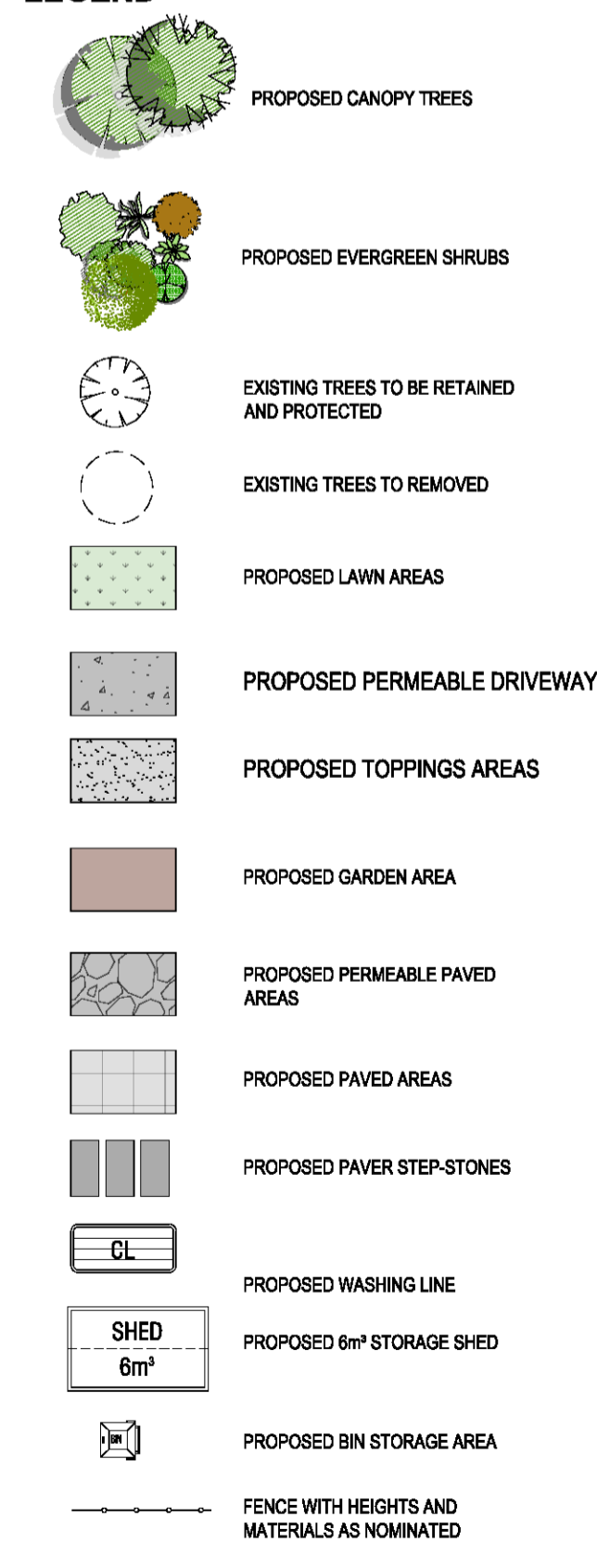
GENERAL
 WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING FOUNDATION

CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP
 DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

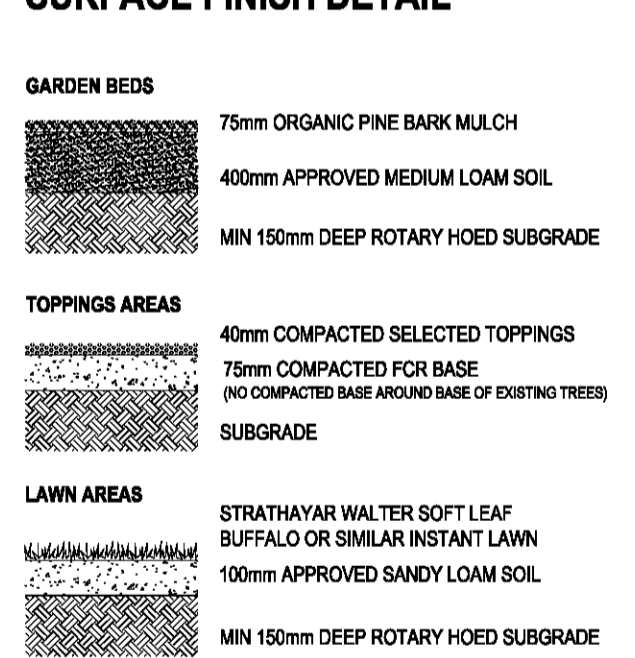
PLANTS - QUALITY OF TREES AND SHRUBS
 PROVIDE PLANTS AT SPECIFIED PLANT HEIGHTS AND POT SIZES, AT MINIMUM, PROVIDE LARGER STOCK IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES, TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM PESTS, INSECTS, DISEASES AND WEEDS. SUBSTITUTE PLANTS ARE NOT ACCEPTABLE UNLESS DEEMED ACCEPTABLE BY THE RESPONSIBLE AUTHORITY IN WRITING. SEMI-MATURE TREES TO BE SUPPLIED TO MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE, HAVE A MINIMUM TRUNK CALIPER OF 50MM AT GROUND LEVEL, BE UN Damaged AND FREE OF DISEASES AND INSECT PESTS, NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF - THE CONTAINER, SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY, SHOW HEALTHY, VIGOROUS GROWTH

PROTECTION OF EXISTING TREES
 ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ON BOTH SUBJECT SITE AND NEIGHBOURING PROPERTIES TO BE RETAINED MUST BE SUITABLY MARKED AND PROTECTED (IF REQUIRED) PRIOR TO COMMENCEMENT OF DEVELOPMENT ON SITE INCLUDING DEMOLITION. VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION, TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES ON BOTH SUBJECT SITE AND ADJOINING PROPERTIES TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE PROTECTION MEASURES AS PER AS 4970-2009. ANY REQUIRED PRUNING MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS. PRUNING TO BE CARRIED OUT AS PER AS 4373-2007. ALL TREE PROTECTION PRACTICES MUST MEET THE REQUIREMENTS OF A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

LEGEND



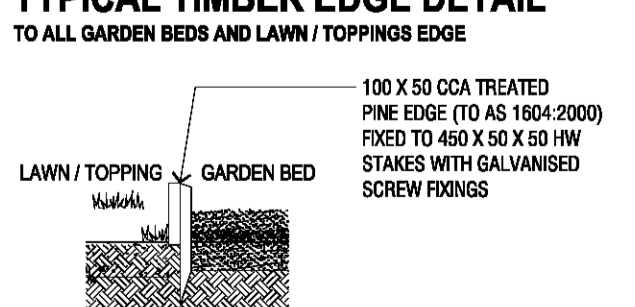
SURFACE FINISH DETAIL



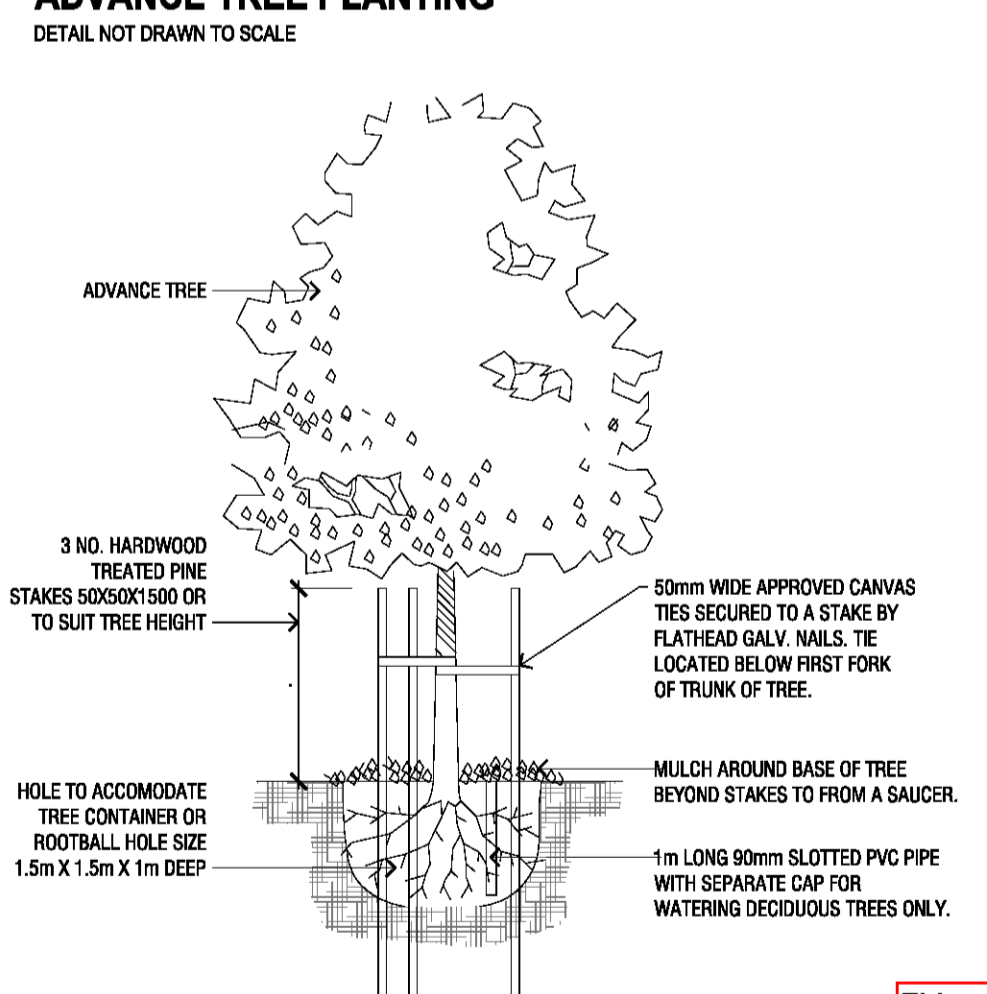
PERMEABLE PAVING AREA



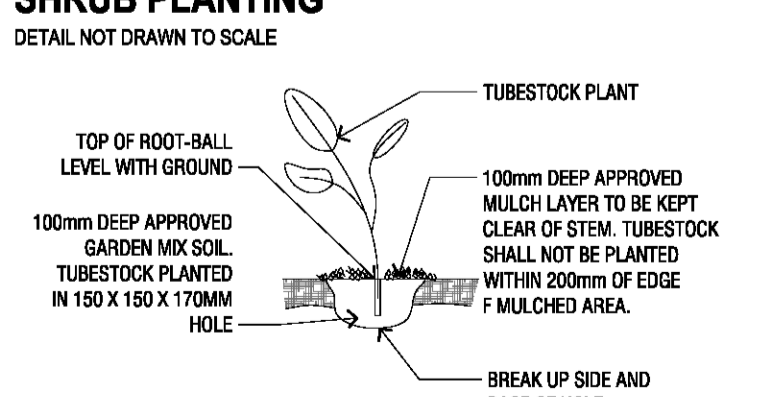
TYPICAL TIMBER EDGE DETAIL



ADVANCE TREE PLANTING



SHRUB PLANTING



PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	QTY	SUPPLY SIZE	MATURE H x W
TREES					
CB	CARPINUS BETULUS 'FASTIGIATA'	FASTIGIATE HORNBEEAM	1	40tr / MIN 1.8m HIGH	8-12m X 4-6m
BV	BALHINIA VARIEGATA	WHITE ORCHID TREE	2	40tr / MIN 1.8m HIGH	6-10m X 6-10m
SHRUBS					
STT	SYZYGIUM 'TINY TREY'	TINY TREY LILLY PILLY	8	14cm POT	.75m X .75m
SAB	SYZYGIUM AUSTRALE 'BUSH CHRISTMAS'	BUSH CHRISTMAS LILLY PILLY	5	20cm POT	1.5m X 1m
AG	ALLIUM GIGANTEUM	ORNAMENTAL ONION	2	20cm POT	1.5-1.8m X 0.2-0.6m
TUSSOCKS/ GRASSES/ EVERGREEN PERENNIALS					
LT	LOMANDRA LONIFOLIA 'TANIKA'	TANIKA	39	14cm POT	.75m X .75m
DCC	DIANELLA CAERULA 'CASSA BLUE'	CASSA BLUE FLAX LILLY	112	14cm POT	0.4m X 0.6m
DL	DIANELLA LONGIFOLIA	SMOOTH FLAX LILLY	6	14cm POT	0.8m X 0.6m

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STATUS:		33 NATHALIA STREET BROADMEADOWS	
REV:		TITLE: LANDSCAPE PLAN	
SCALE AT A1: 1:100		DATE: APR 2026	DRAWN: CHECKED:
PROJECT NO: 33NAT	DRAWING NO: TP05	REVISION:	

KEY

S.P.O.S	SECLUDED PRIVATE OPEN SPACE		SHRUBS/CANOPY TREES
HW	HABITABLE WINDOW		ELECTRICAL / LIGHT POLE
Ⓜ	HYDRANT		TELECOMMUNICATION PIT
Ⓧ	ELECTRICAL PIT		STORM WATER PIT
Ⓢ	SEWER PIT		
Ⓞ	STREET SIGN		

AMENITIES NEARBY

→ GIRGARRE STREET PLAYGROUND - 100M	↘ H & M MEDICAL CENTER - 265M	← BROADMEADOWS CENTRAL - 1000M
→ GIRGARRE ST / NATHALIA ST BUS STOP - 100M	← BUNNINGS BROADMEADOWS - 500M	← BROADMEADOWS TRAIN STATION - 1.4Km
↓ SIRIUS COLLEGE - 130M	↗ JOHN ILHAN MEMORIAL RESERVE - 700M	↘ MYCENTRE MOSQUE - 769.8m

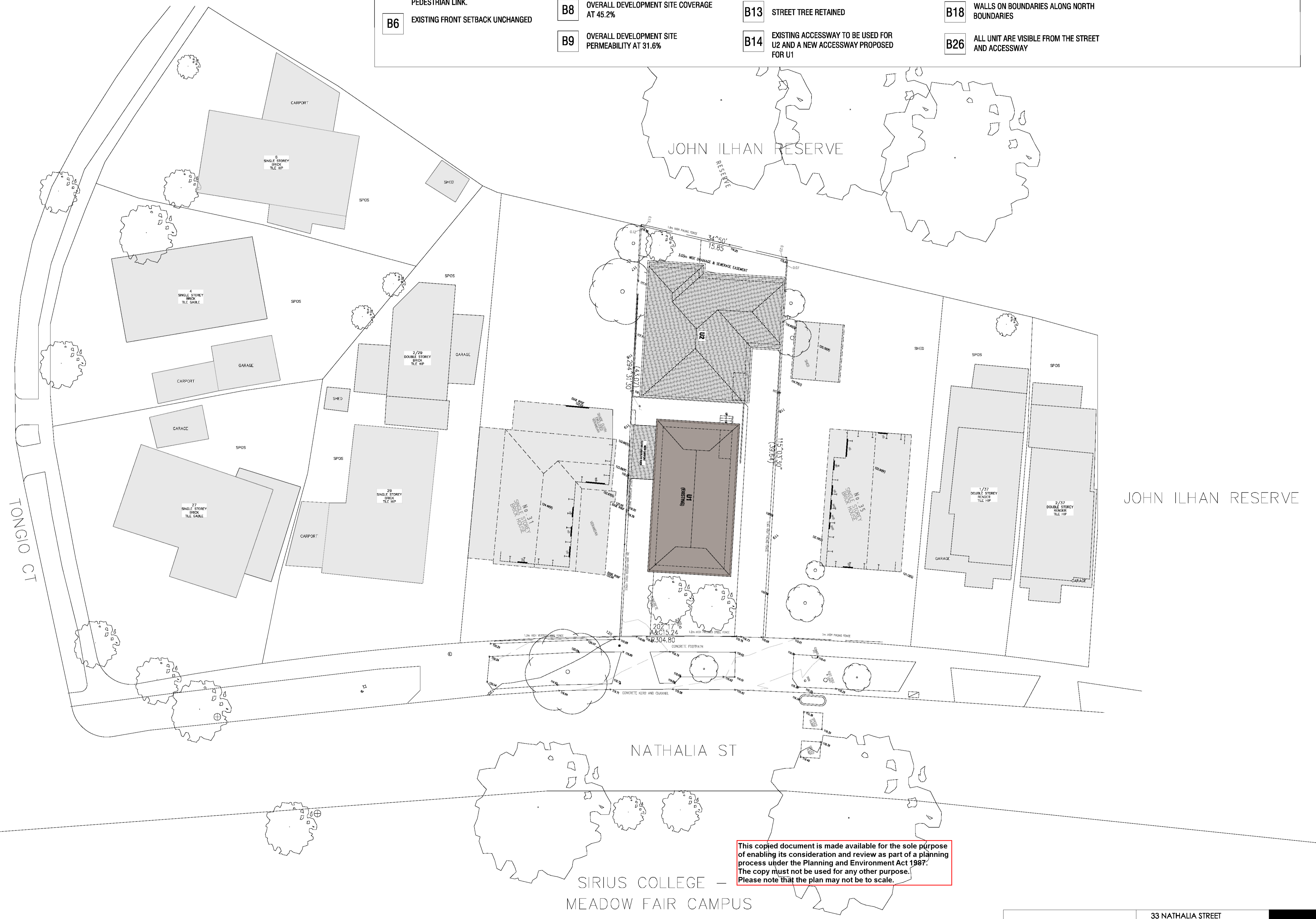


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STATUS:		33 NATHALIA STREET BROADMEADOWS			
REV:		TITLE: SITE CONTEXT			
SCALE AT A1:	DATE:	DRAWN:	CHECKED:		
1:200	SEP 2025				
PROJECT NO:	DRAWING NO:	REVISION:			
33NAT					

DESIGN RESPONSE

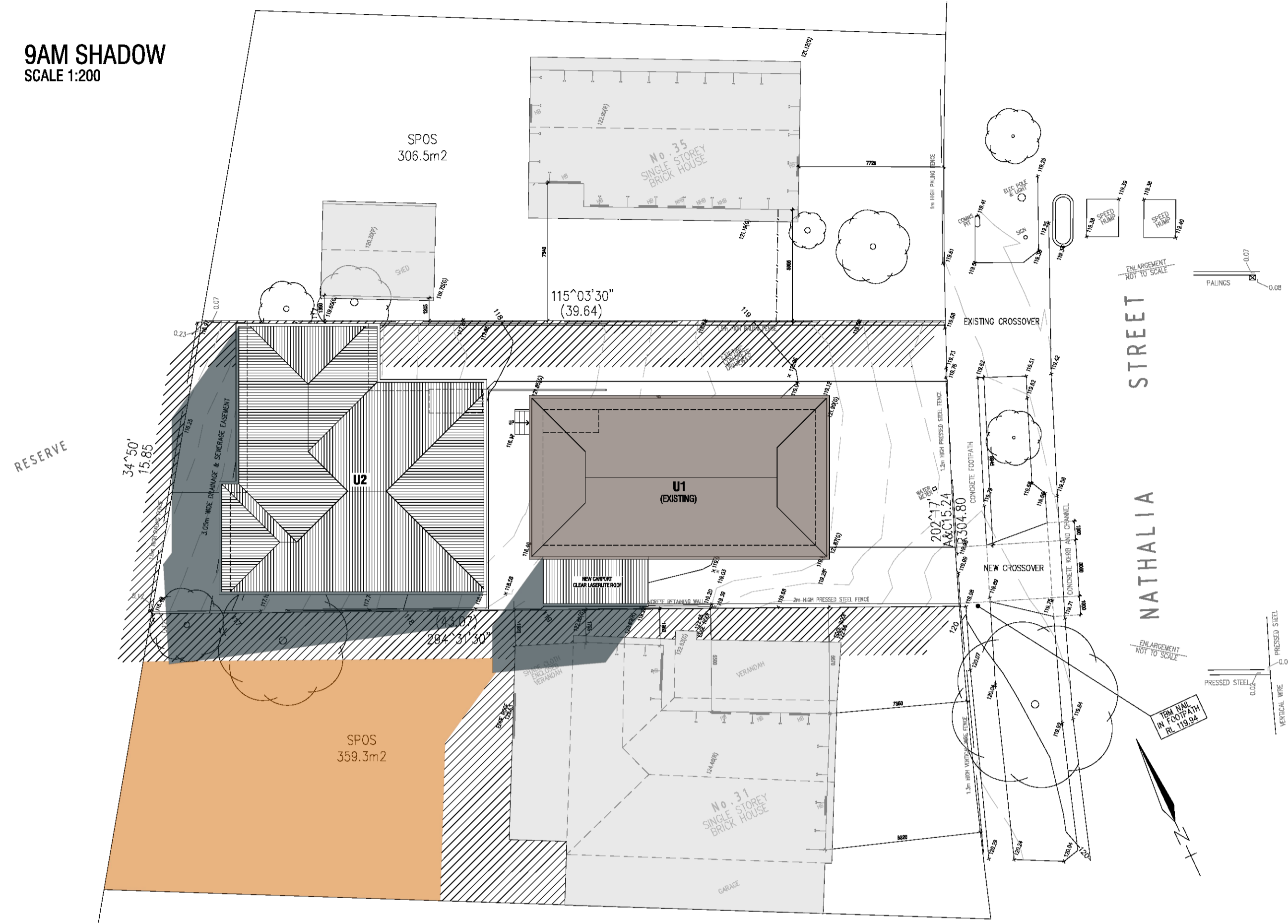
- B5** ALL DWELLING ARE ORIENTATED TO THE STREET AND INTERNAL ACCESSWAY, WITH ADEQUATE VEHICLE AND PEDESTRIAN LINK.
- B6** EXISTING FRONT SETBACK UNCHANGED
- B7** DEVELOPMENT MAX. HEIGHT AT 4.815m
- B8** OVERALL DEVELOPMENT SITE COVERAGE AT 45.2%
- B9** OVERALL DEVELOPMENT SITE PERMEABILITY AT 31.6%
- B12** ENTRANCE TO EACH DWELLING ARE WELL LIT AND HAVE DIRECT LINE OF SIGHT FROM THE STREET
- B13** STREET TREE RETAINED
- B14** EXISTING ACCESSWAY TO BE USED FOR U2 AND A NEW ACCESSWAY PROPOSED FOR U1
- B15** PROPOSED GARAGE TO ALL UNITS WITH CONVENIENT ACCESS TO BUILDING
- B18** WALLS ON BOUNDARIES ALONG NORTH BOUNDARIES
- B26** ALL UNIT ARE VISIBLE FROM THE STREET AND ACCESSWAY
- B28** ALL UNIT PROVIDE IN EXCESS OF SECLUDED PRIVATE OPEN SPACE AT THE BALCONY



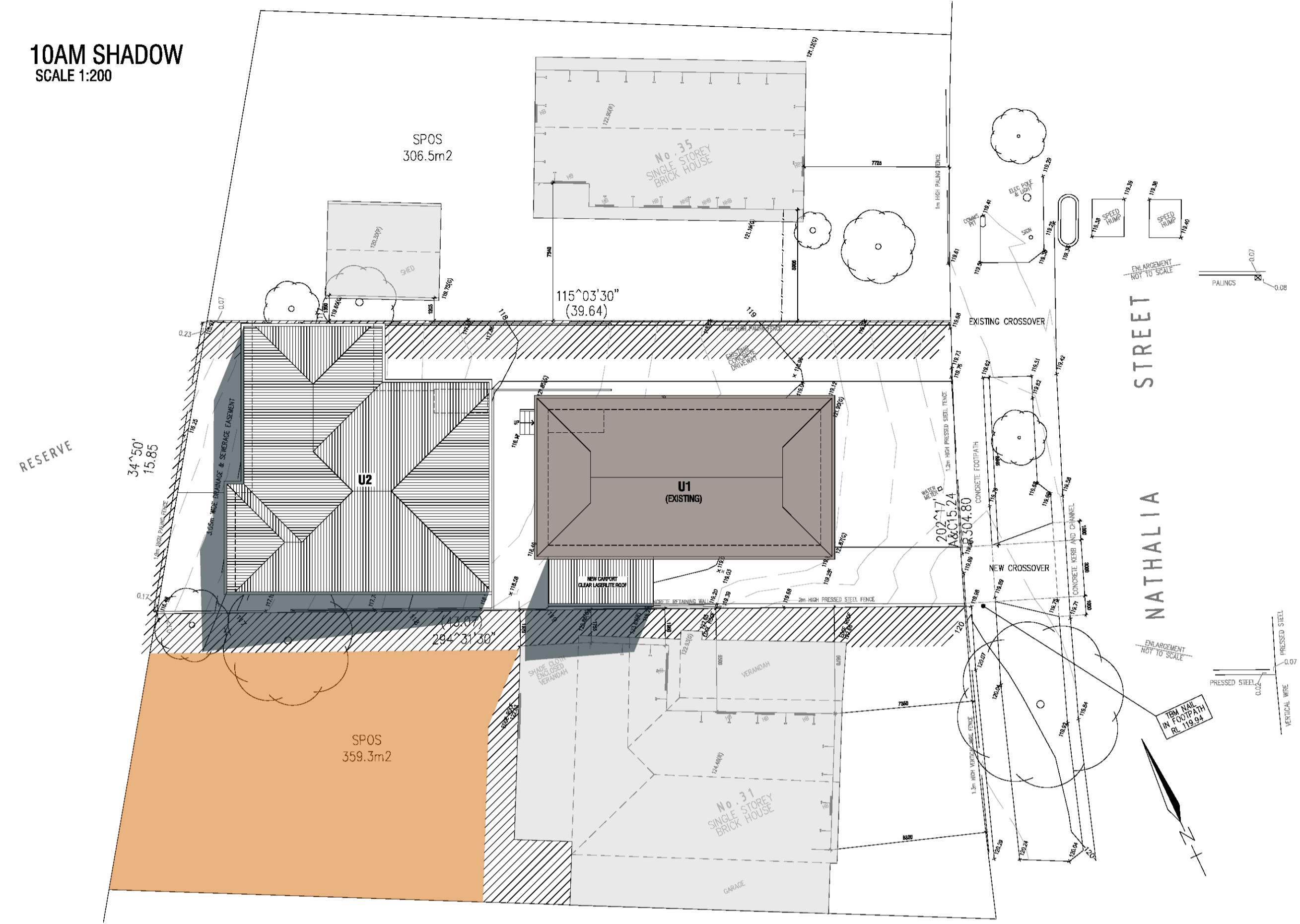
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PROJECT NO:	DRAWING NO:	REVISION:			
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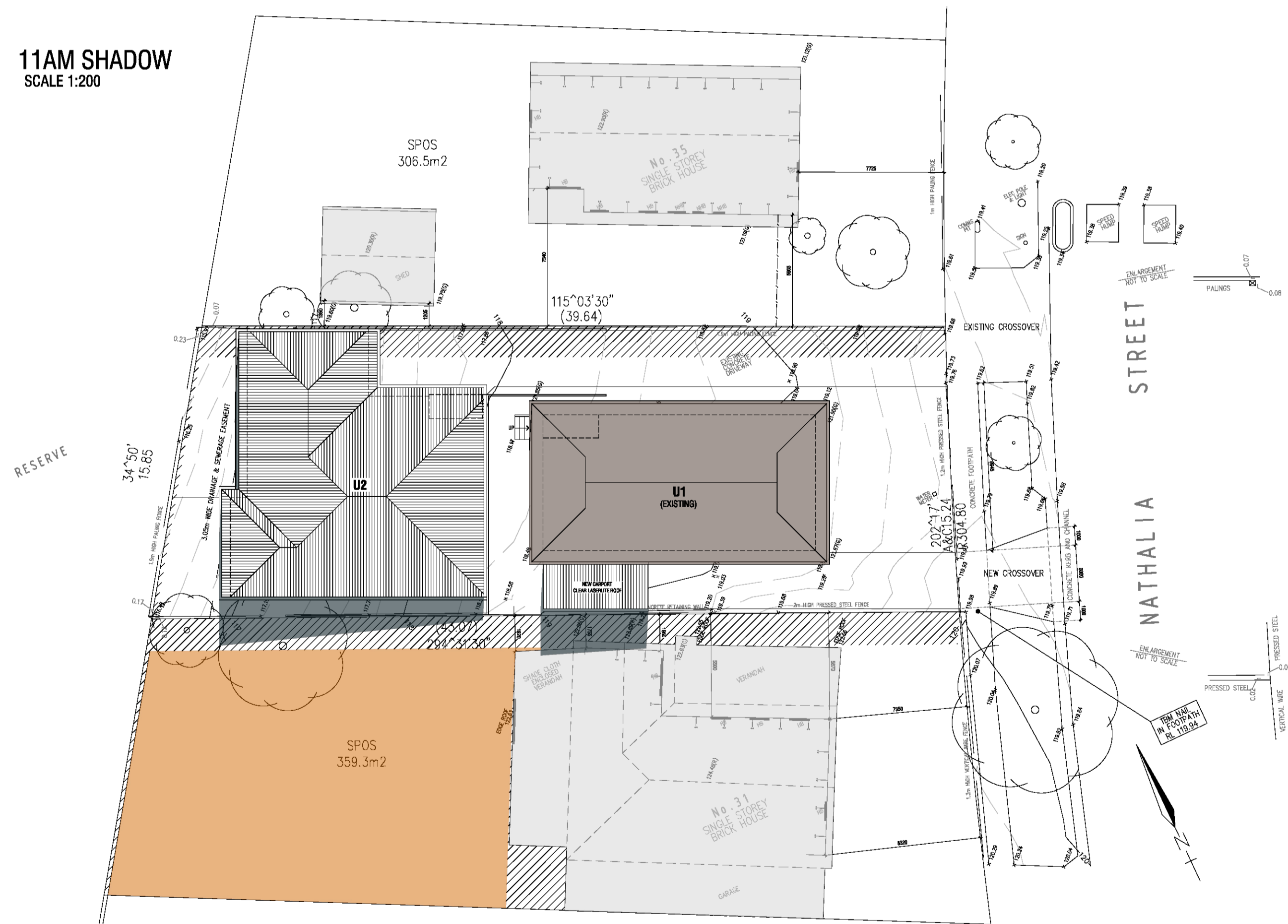
9AM SHADOW
SCALE 1:200



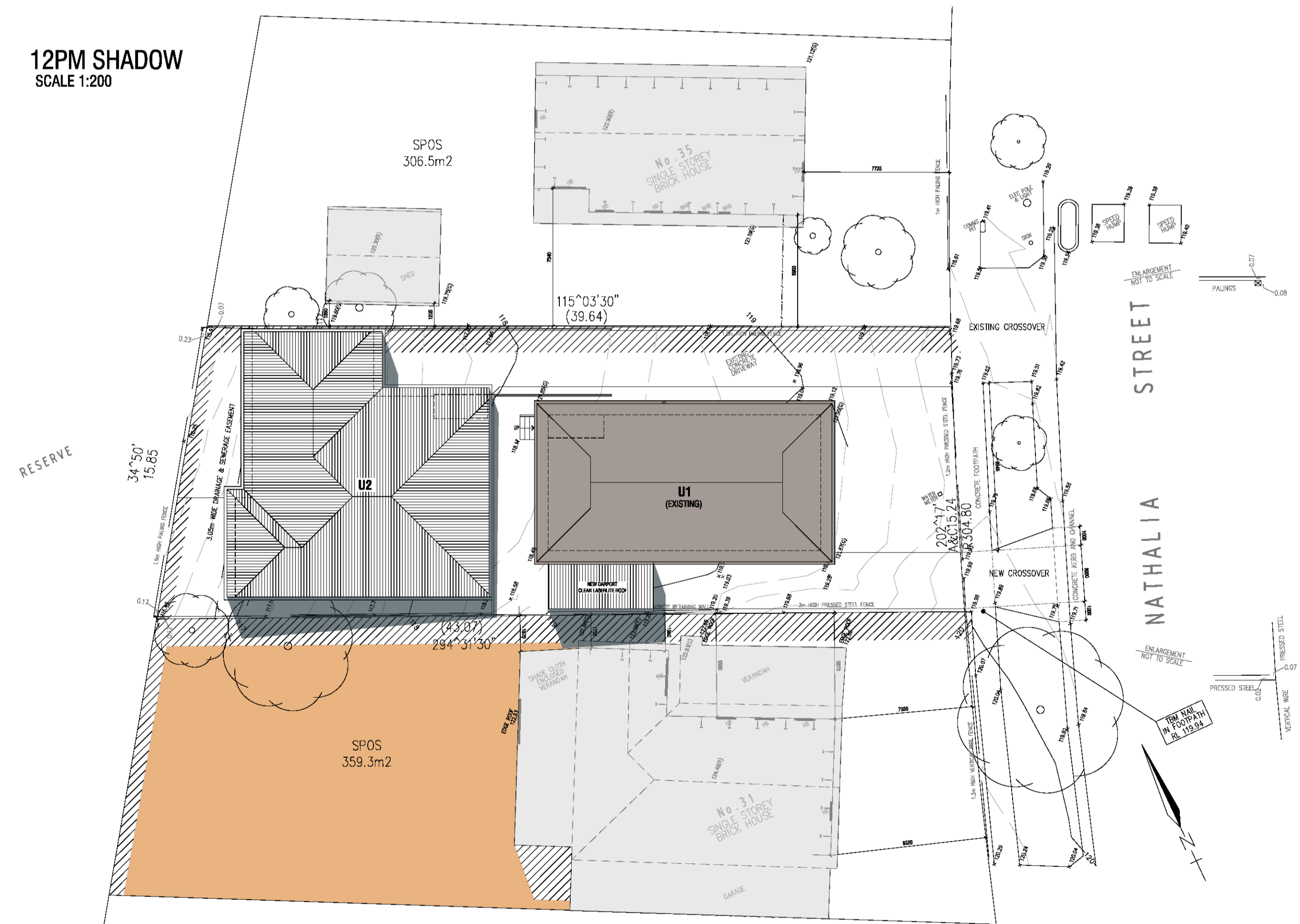
10AM SHADOW
SCALE 1:200



11AM SHADOW
SCALE 1:200



12PM SHADOW
SCALE 1:200



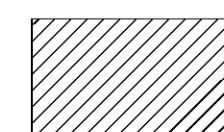
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LEGEND

SHADOW PROJECTION ON 22ND SEPTEMBER (EQUINOX)



PROPOSED SHADOW

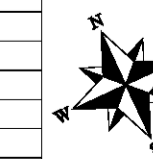


EXISTING SHADOW



NEIGHBOUR AREA OF SPOS WITH SUNLIGHT

STATUS:	
REV:	

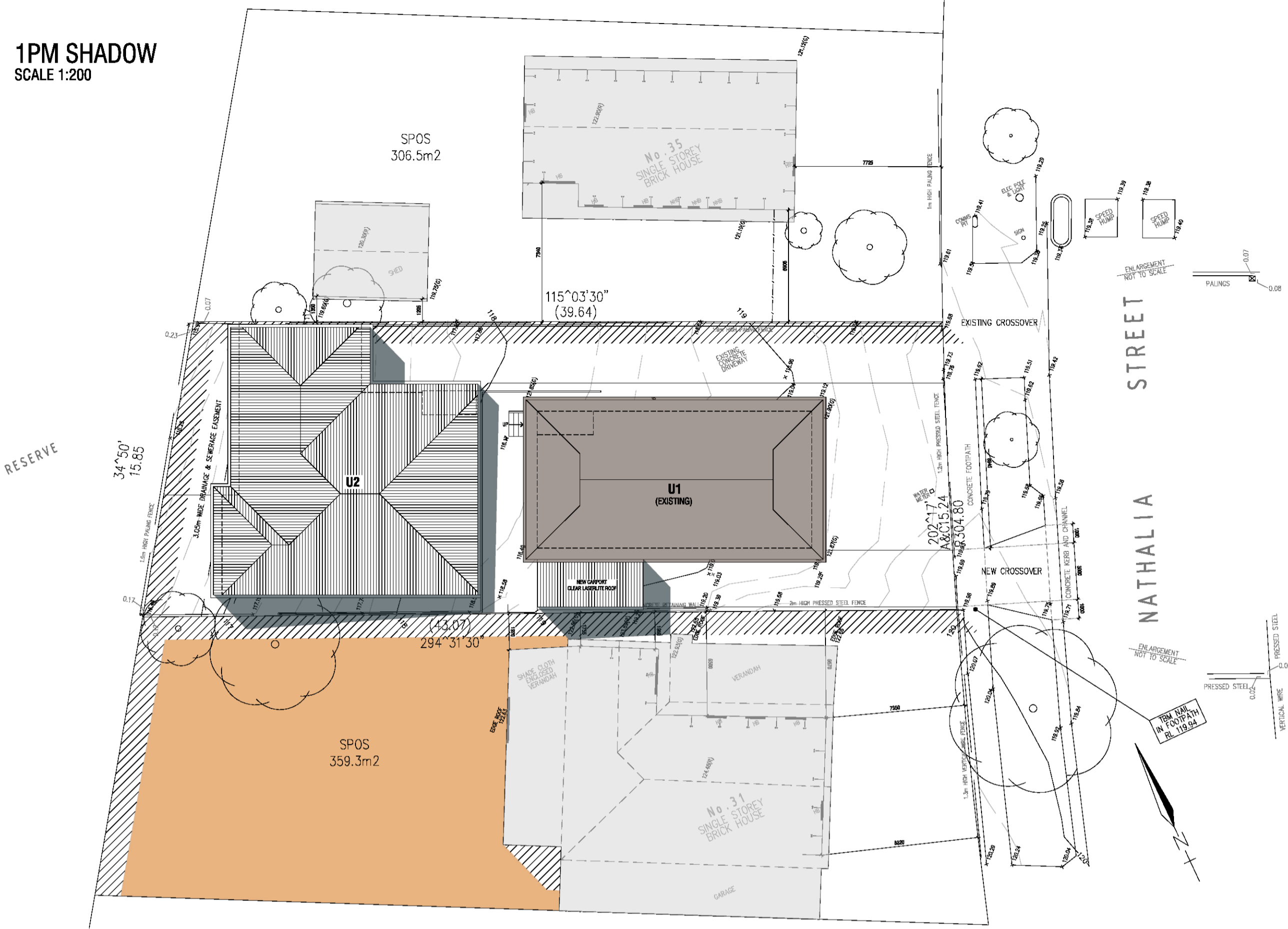


33 NATHALIA STREET
BROADMEADOWS

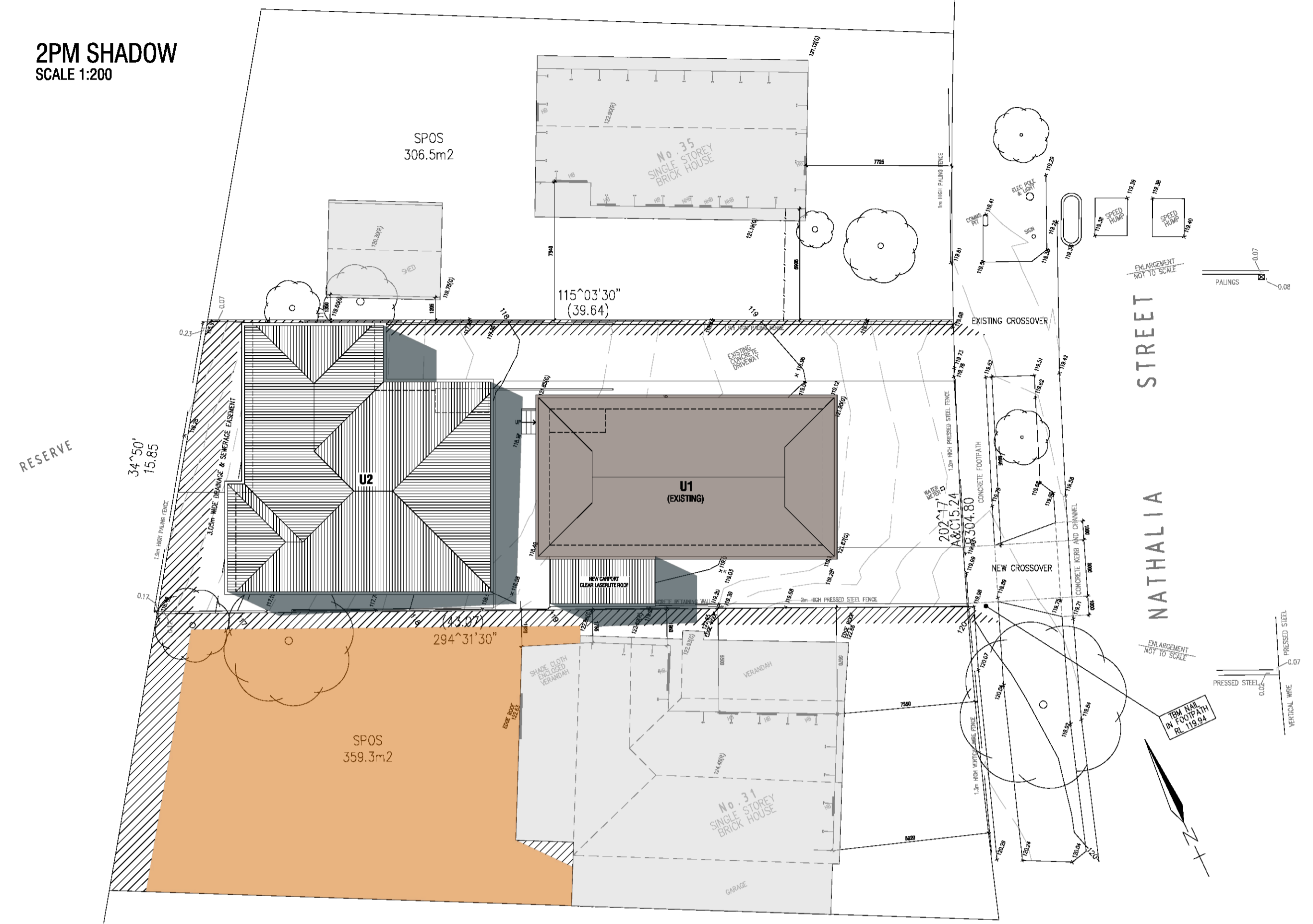
TITLE:
SHADOW DIAGRAMS

SCALE AT A1: 1:200	DATE: SEP 2025	DRAWN:	CHECKED:
PROJECT NO: 33NAT	DRAWING NO:	REVISION:	

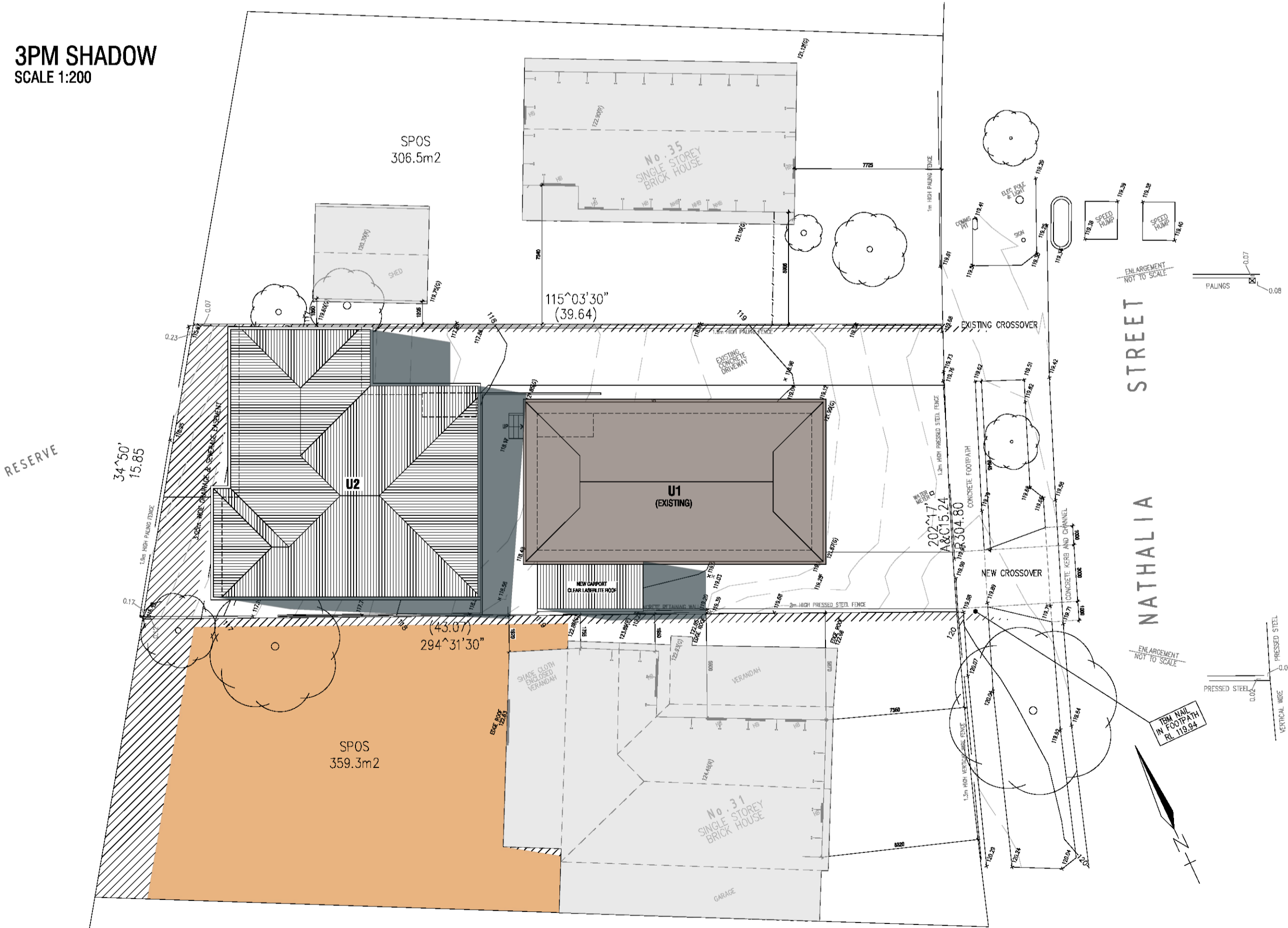
1PM SHADOW
SCALE 1:200



2PM SHADOW
SCALE 1:200



3PM SHADOW
SCALE 1:200



ADJOINING PROPERTY	SPOS (m ²)	TIME	SPOS NOT OVERSHADOWED (m ² %)
NO. 31 NATHALIA	359.3m ²	9AM	220.5m ² 61.4%
		10AM	251.0m ² 69.8%
		11AM	273.5m ² 76.1%
		12PM	275.7m ² 76.7%
		1PM	276.4m ² 76.9%
		2PM	278.2m ² 77.4%
		3PM	276.0m ² 76.8%

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LEGEND SHADOW PROJECTION ON 22ND SEPTEMBER (EQUINOX)

PROPOSED SHADOW

EXISTING SHADOW

NEIGHBOUR AREA OF SPOS WITH SUNLIGHT

STATUS:		33 NATHALIA STREET BROADMEADOWS	
REV:		TITLE: SHADOW DIAGRAMS	
SCALE AT A1: 1:200		DATE: SEP 2025	CHKD: []
PROJECT NO: 33NAT	DRAWING NO:	REVISION:	

WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH BLUE FACTOR REQUIREMENTS.

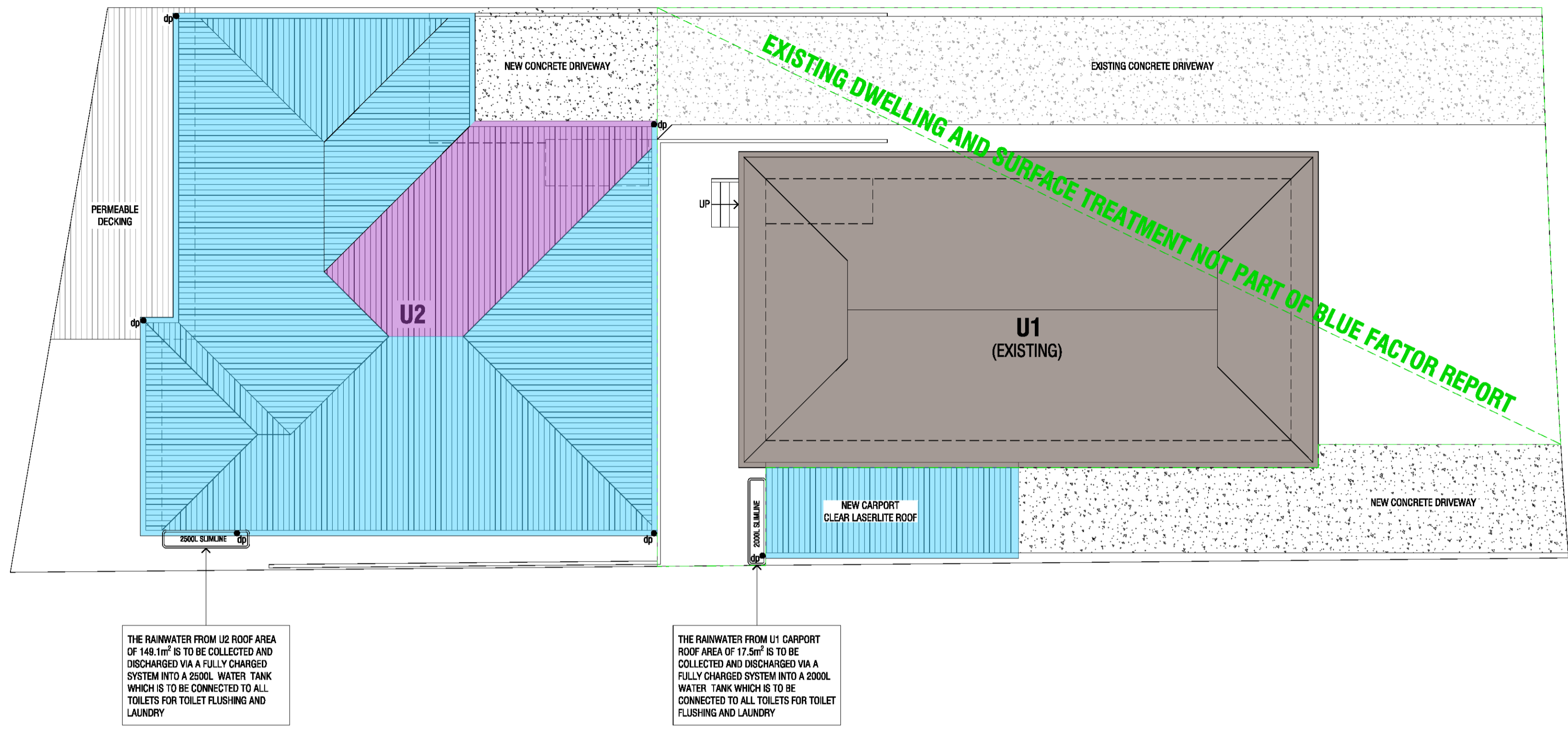
IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

THE OVERFLOW SYSTEMS FOR THE RAINWATER TANKS TO BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

LEGEND			
	CONCRETE DRIVEWAY SURFACE (UNTREATED)		PLANTERBOX RAINGARDEN AREA
	ROOF AREA TO RAINWATER TANK		SELECTED WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
	ROOF AREA TO RAINGARDEN		PROPOSED DOWN PIPE LOCATION
	ROOF AREA (UNTREATED)		



33 NATHALIA ST BROADMEADOWS

The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.

107%
SCORE

Project details

Name	33 NATHALIA ST BROADMEADOWS
Street address	33 Nathalia St, Broadmeadows VIC 3047, Australia
Municipality	Hume
Site area	636.5 m ²
Planning Number	

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STATUS:	33 NATHALIA STREET BROADMEADOWS
REV:	WSUD
SCALE AT A1:	DATE: JUNE 2025
PROJECT NO:	DRAWING NO: TP06
	CHECKED: KL
	REVISION:



33 NATHALIA ST BROADMEADOWS



The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.

Project details

Name	33 NATHALIA ST BROADMEADOWS
Street address	33 Nathalia St, Broadmeadows VIC 3047, Australia
Municipality	Hume
Site area	636.5 m ²
Planning Number	

Flow and pollutant load reductions

Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	44%	>28%
Mean annual runoff volume infiltrated or filtered (%)	0%	>9%
Total suspended solids (%)	54%	>80%
Total phosphorus (%)	51%	>45%
Total nitrogen (%)	48%	>45%
Total gross pollutants (%)	64%	>70%

Water treatment

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Catchments

U1 CARPORT Roof, 17.5m²

U2 - RWT Roof, 149.1m²

U2 - UNTREATED Roof, 32.7m²

DRIVEWAY - UNTREATED Paved, 55.2m²

Warning: Total catchment area of 254.5m² is 382m² below total area of 636.5m²

Treatments

U1 - RWT Rainwater Tank,
Rainwater tank retention volume in kilolitres: 2

U2 - RWT Rainwater Tank,
Rainwater tank retention volume in kilolitres: 3

Buildings & dwellings

U1 CARPORT Residential Detached house, 3 bedroom(s)

U2 Residential Detached house, 4 bedroom(s)

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Configuration 1

U1 CARPORT Roof, 17.5m²

U1 - RWT Rainwater Tank,
Rainwater tank retention volume in kilolitres: 2,

U1 CARPORT Residential Detached house, 3 bedroom(s)

Configuration 2

U2 - RWT Roof, 149.1m²

U2 - RWT Rainwater Tank,
Rainwater tank retention volume in kilolitres: 3,

U2 Residential Detached house, 4 bedroom(s)

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KEEPING OUR STORMWATER CLEAN



A BUILDER'S GUIDE

Information to help you control sediment and litter from your building site and comply with Council and State regulations

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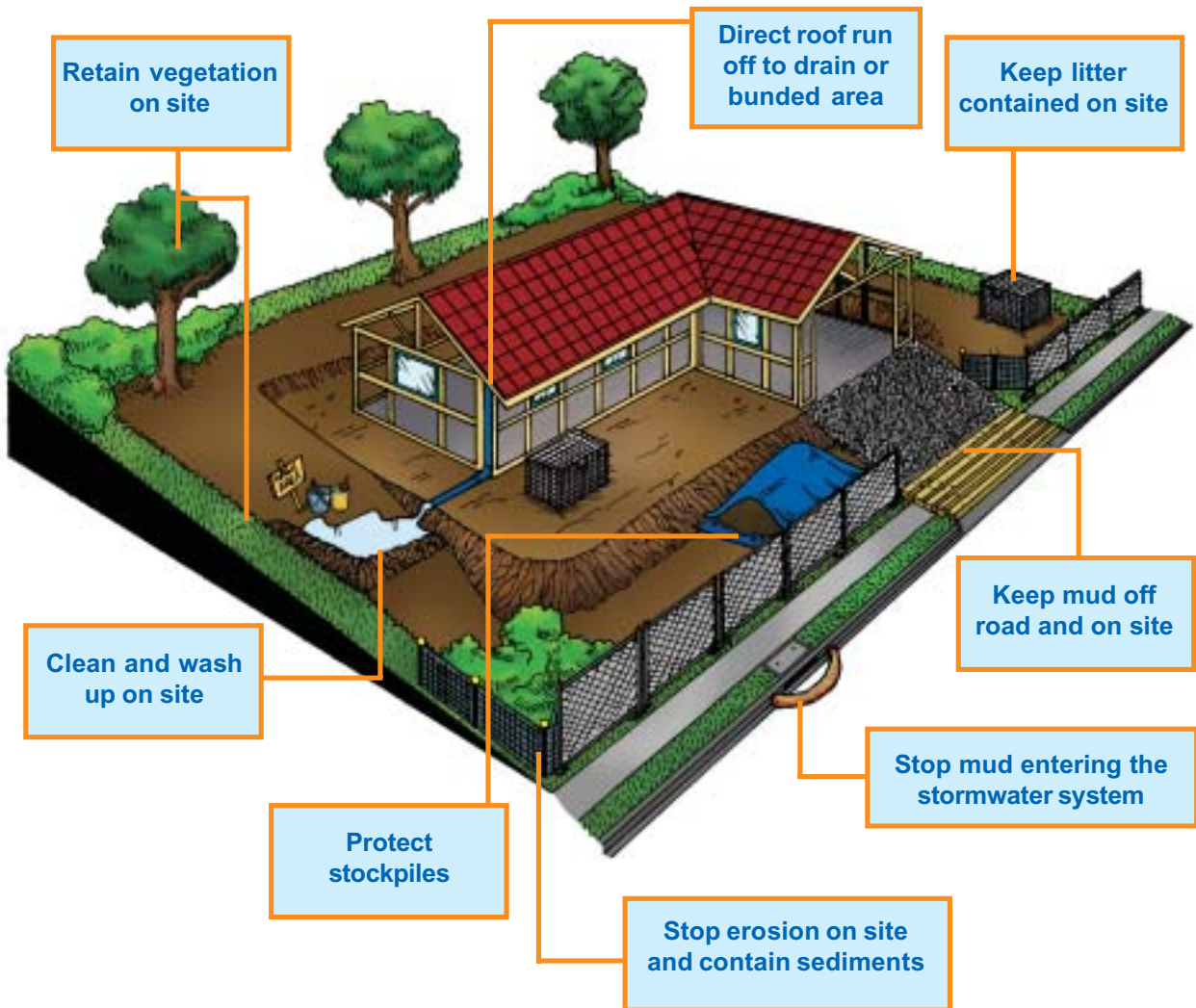
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ACKNOWLEDGEMENTS

This revised booklet was originally produced with the support of the Victorian EPA, Melbourne Water, Cities of Kingston, Casey, Hume, Melbourne, Moreland and Moonee Valley.

Check Council requirements and plan before you start work on site



Supplier information for sediment & erosion control on page 3

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CONTENTS

6 SITE RULES TO KEEP STORMWATER CLEAN



SITE RULE 1

Check Council requirements and plan before you start work on site.

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SITE RULE 2

Stop erosion onsite and contain sediments.

..... Page 6



SITE RULE 3

Protect stockpiles.

..... Page 12



SITE RULE 4

Keep mud off road and on site.

..... Page 16



SITE RULE 5

Keep litter contained on site.

..... Page 18



SITE RULE 6

Clean and wash up on site.

..... Page 21

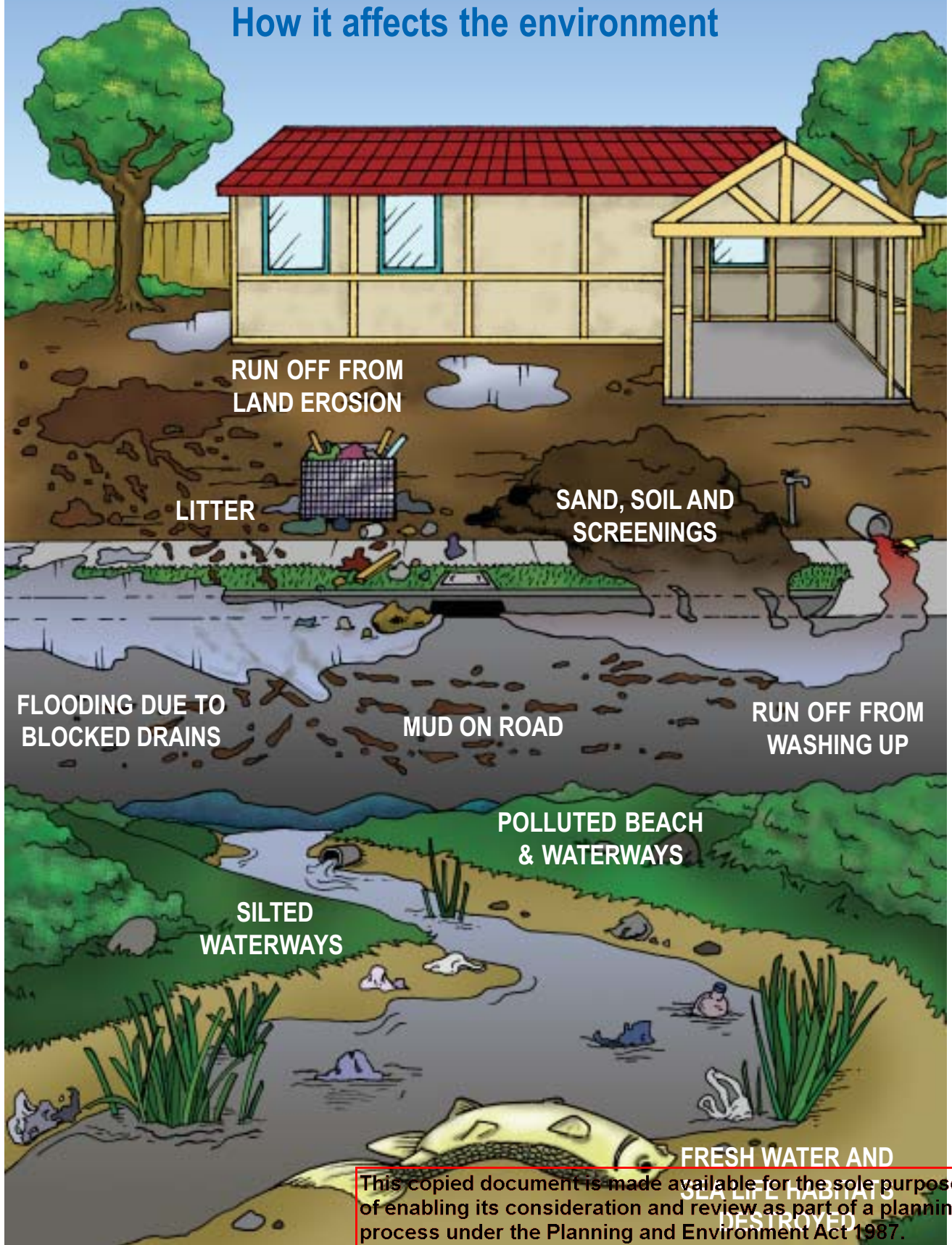
Use the Site Management Plan

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PROBLEMS ON OUR BUILDING SITES

How it affects the environment



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WHY DO I NEED TO PROTECT OUR ENVIRONMENT?

It's the law!

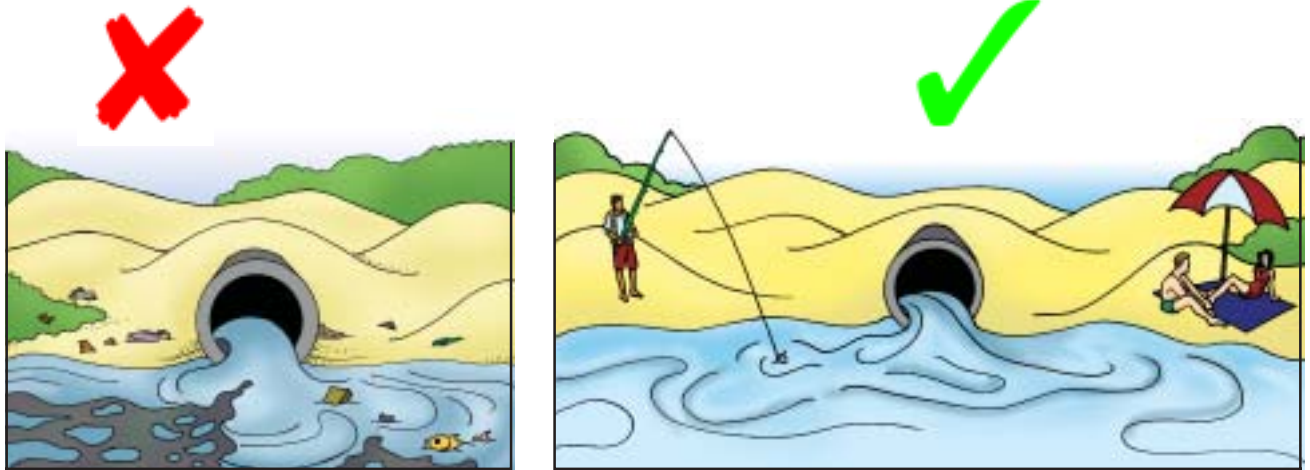
Sediment from building sites can pollute stormwater. There are State and local council laws which make this an offence.

The developer or person managing the building site has the responsibility of making sure that the stormwater is not polluted.

Penalties apply for polluting stormwater.



To enjoy using our environment - now and in the future



Stormwater is not treated and carries pollution to local waterways and bays. Pollution in our stormwater can lead to short and long term damage to our environment.

To benefit builders

The site looks good (which is good for attracting new customers) **and you'll be helping to protect our environment.**

The site has fewer hazards. A well organised site has less loose material lying around causing a hazard. This reduces health and safety issues on a building site.

Downtime is reduced. A well managed and organised site is more efficient. This saves time and money.



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USEFUL SUPPLIER INFORMATION



This information is provided for helpful contact details only. The companies are not listed in any particular order and are not necessarily recommended over others that may provide similar services.

SEDIMENT CONTROL

Approximate Price:
Geofabric fencing
100 m roll from \$55 to \$130
stakes \$12 for 10
Filter socks unfilled: 2 m \$4.50 filled \$8 - \$25

Geofabrics Australasia

03 8586 9111 www.geofabrics.com.au
Products: silt fencing

Southern Geosynthetics Supplies

0419 478 238 www.geosynthetics.com.au
Products: Silt fences, Silt Sausages

Statewide River & Stream Management

03 9702 9757 www.stateplanthire.com
Products: silt fence, stakes, silt logs
Installation service and site kits
Approx cost: \$220 for 20 m frontage installed, \$88 self installation

Treemax

03 98787 4111 www.treemax.com.au
Products: filter fence, silt worm, silt sock

Zerosion

0408 351 566 www.zerosion.com.au
Products: silt fence installation
Approx cost: \$215 for up to 20 m frontage

STABILISED DRIVEWAYS

For aggregate look under sand, soil and gravel in the Yellow Pages
Recycled aggregate available from major suppliers.

TEMPORARY DOWNPIPE

Available from major plumbing suppliers
Art Plastic 25 m rolls of temporary plastic downpipe
approx: \$25

Temporary Flexible Downpipe

03 9786 3711 www.tfd.com.au
\$135 per kit - does 2-3 16 sq houses

OTHER EQUIPMENT

Coates Shorco Sykes 131994

Supply : silt fence \$125 100 m
Hire: Rumble Grids \$180 p/week for 2 panels
Hire: Environmental settlement tanks 4 m tank \$542 p/week

PORTABLE TOILETS

See Toilets – Portable in the Yellow Pages

TEMPORARY FENCING

See Fencing Contractors in the Yellow Pages
Australian Temporary Fencing 131716
Victorian Temporary Fencing 03 9484 4000

BRICK AND TILE CUTTING

Slop Mop Recycling Products

www.slopmop.com.au 0418 825 301 **Brikasaurus**:
capture and recycle waste water for brick and tile cutting operations.

Slopmop: water delivery & waste clean up system for use behind concrete saws and grinders.

Useful information is available from:

Master Builders Green Living Builders

www.mbv.com.au

HIA GreenSmart Program

www.greensmart.com.au

Keep Australia Beautiful Victoria – CleanSites Program

<http://www.kabv.org.au/>

Victorian Litter Action Alliance

<http://www.litter.vic.gov.au>

Environment Protection Agency Victoria

www.epa.vic.gov.au

See Publication 981 – Reducing stormwater pollution

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SITE RULE 1

Check Council requirements and plan before you start work on site.



Questions to ask **BEFORE** you start

Planning, BEFORE you start a job, will make a big difference to how well you manage your site. Check Council requirements for site management. Complete a site management plan (one can be found at the back of this booklet).

Where is the lowest point on the site?

Water always runs to the lowest point. It is important to know where this point is when planning your site. It will affect where you put your crossover, stockpile materials and sediment fence. Leave a buffer of vegetation along the lowest boundary.

Where will I put the crossover?

Try to put the crossover as far away from the lowest point as possible. As water runs to the lowest point it is more likely to be wet and muddy. [See Page 16.]

Where will I keep my stockpile?

Stockpiles are best kept on site, as far away from the lowest point as practical. [See Page 12.]

Where will I build my sediment control fence?

Sediment control fences should be built on the lowest side/s of a site prior to erecting a temporary fence. A flat site may not need sediment control fences. [See Page 9.] These are a primary management measure to keep sediment on site.

Which trees and vegetation will be kept on site?

Rope or fence off the areas you are going to keep. Keeping vegetation such as grassed areas will help to prevent damage to the surface of the site later on and may trap sediment. [See Page 7.]

Why fence my site?

Many councils require sites to be fenced. Site fencing helps to keep building activities to the site, helps stop movement of litter, and helps to keep a site safe by stopping members of the public wandering on site. [See Page 20.]

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SITE READY TO START JOB

SITE MANAGEMENT PLAN

Building Company: _____ Date: ____/____/____
 Site Address: _____
 Client Name: _____ Contact Number: () _____

Site Management Plan 23

CLEAN SITE CHECKLIST

Please photocopy to use on site

SITE DETAILS:
 Building Company: _____
 Site Supervisor: _____
 Date: ____/____/____
 Site Address: _____
 Client Name: _____
 Contact Number: () _____

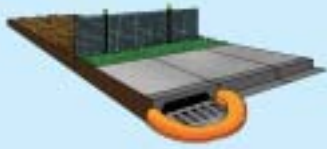
SITE RULE	TASK	CHECK
SITE RULE 1 - Check Council requirements and plan before you start work on site.	Crossover away from lowest point	<input type="checkbox"/>
	Sediment control fence on lowest side	<input type="checkbox"/>
	Stockpiles away from lowest point	<input type="checkbox"/>
SITE RULE 2 - Stop erosion on site and contain sediments.	Marked trees and vegetation to keep on site	<input type="checkbox"/>
	Sediment control fence in place	<input type="checkbox"/>
	Catch basins on high side of site	<input type="checkbox"/>
SITE RULE 3 - Protect stockpiles.	Vegetation areas kept at boundary	<input type="checkbox"/>
	Downpipes set up as early as possible	<input type="checkbox"/>
SITE RULE 4 - Keep mud off road and on site.	Base and cover for stockpiles	<input type="checkbox"/>
	Gravel savings at stormwater pit	<input type="checkbox"/>
SITE RULE 5 - Keep litter contained on site.	Crushed rock access point	<input type="checkbox"/>
	Vehicles kept to crushed rock areas	<input type="checkbox"/>
	Mud removed from tyres before leaving site	<input type="checkbox"/>
SITE RULE 6 - Clean and wash up on site.	Clean road if muddy	<input type="checkbox"/>
	Litter bins in place with lid closed	<input type="checkbox"/>
	Site fencing in place	<input type="checkbox"/>
	Cutting and stain up area on site	<input type="checkbox"/>
	Clean equipment off before washing	<input type="checkbox"/>
	Sediment filters downlope	<input type="checkbox"/>
	Contain all washings on site	<input type="checkbox"/>

Site Management Plan 24

For copy of plan & checklist photocopy pages 23 & 24.



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SITE RULE 2

Stop erosion and keep sediment on site

Why is erosion a problem?

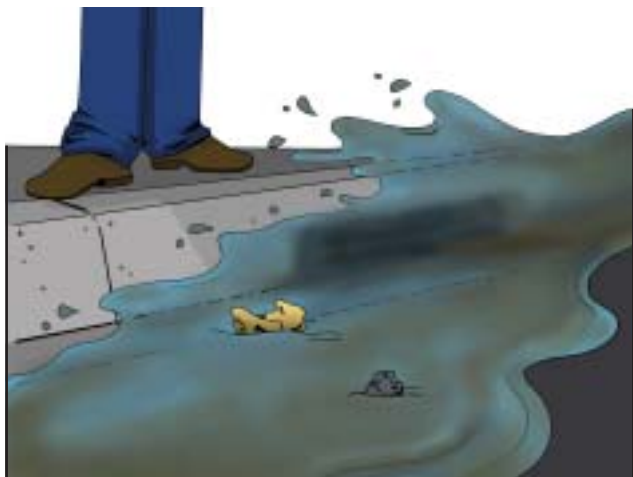
Sediment escaping from building sites can:



1. Make roads and footpaths slippery for vehicles and pedestrians, increasing public liability risk.



2. Enter the stormwater system and make stream and river water cloudy which can kill plants and animals in creeks and the bay.



3. Cause blockages to the stormwater system including the side entry pit and pipes, increasing the chance of flooding and requiring regular cleaning.



4. Overload and clog local stormwater filtration systems such as rain gardens and

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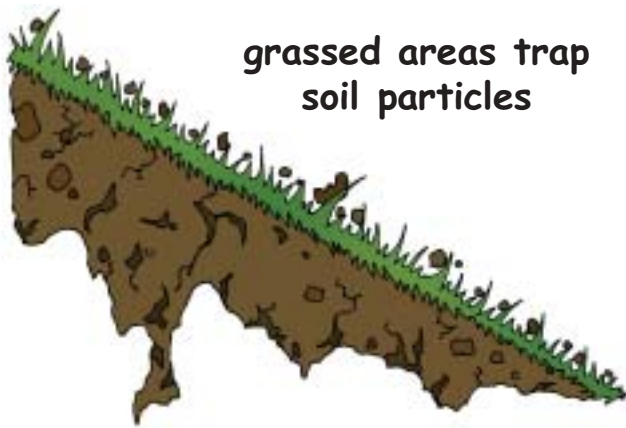
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METHODS TO CONTROL EROSION

Control Method 1 - Keep areas of vegetation as a buffer strip at the site boundary.

To prevent sediment leaving site use existing grassed areas and a sediment control fence.



grassed areas trap soil particles

Vegetation helps protect the soil from the effects of rain and surface water by:

- Slowing the flow of water across the ground. Fast water is able to carry more soil particles off site
- Holding the soil together and minimising erosion
- Acting as a filter to trap soil particles.

Decide what areas of vegetation you are going to keep on site. Mark and protect trees, shrubs and grassed areas that you are keeping. Then apply for the relevant permits to remove vegetation.



Protect areas close to the boundary, drains and gutters, and where surface water flows may carry sediment off site.

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Control Method 2 - Early downpipe connection



Connecting downpipes to the stormwater or onsite detention system has a number of benefits:

- Less drainage problems on site
- Less mud on site after rain
- A safer site
- Reduce damage to building foundations
- Less downtime after storms
- Projects get finished sooner.

Aim to have the downpipes connected as soon as the roof is installed (temporary or permanent).

Control Method 3 - Pipe roof water onto a grassed or banded area.

If you cannot connect to the stormwater system, pipe the water away from the building onto a vegetated area where there is good ground cover or to a banded area.



This lets water seep into the ground with less damage to the surface of the soil.

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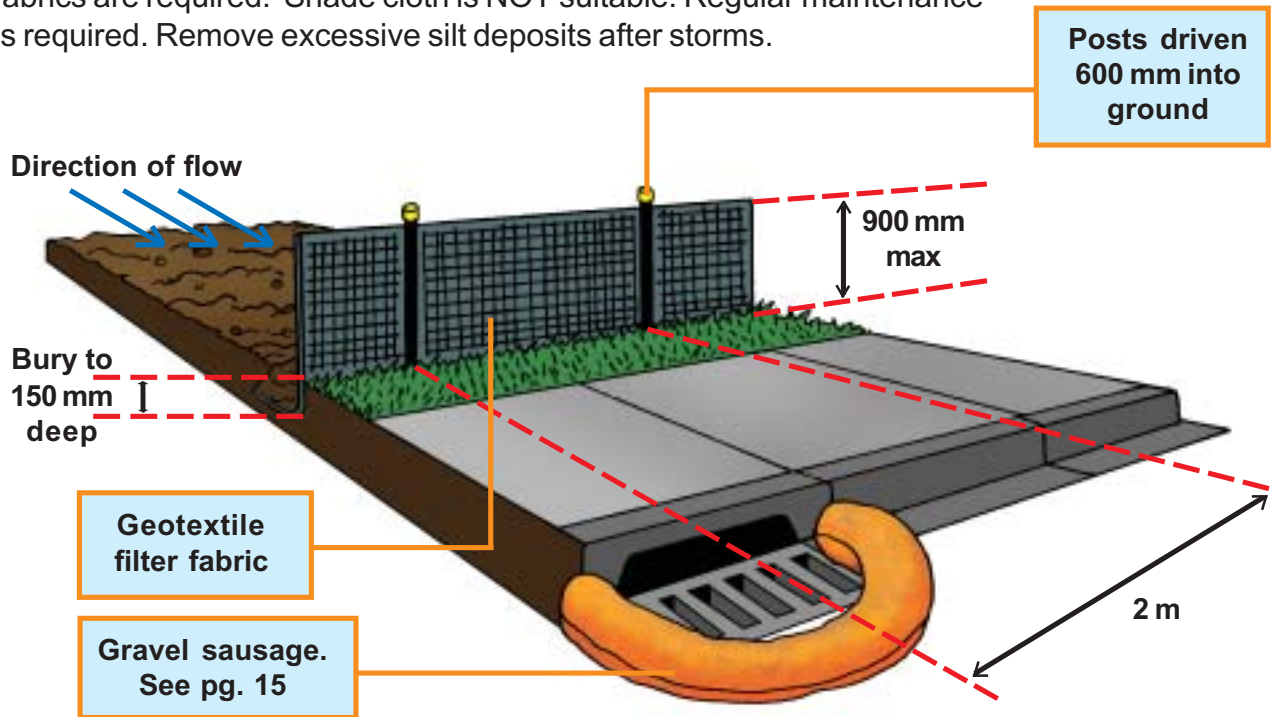
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METHODS TO CONTAIN SEDIMENT ON SITE

Method 1 - Sediment Control Fences

Sediment control fences stop sediment from being washed off site. The fence allows muddy water to pond behind it and for sediment to settle as the water slowly filters through. Geotextile fabrics are required. Shade cloth is NOT suitable. Regular maintenance is required. Remove excessive silt deposits after storms.



TO BUILD A SEDIMENT CONTROL FENCE:

a) Identify the low point of site.

Place sediment control fence along boundaries where the low point is.



This is the point where the land will allow water to

carry sediment off the building site.

Site Rule 2 - Stop erosion and keep sediment on site.

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b) Dig a trench along the fence line before temporary site fencing is installed.

The trench will be used to bury the base of the sediment control fabric.

The trench should be 150 mm deep.



c) Put in 1500 mm wooden posts (38 mm) or star pickets.

Put 1.5 m star pickets at a maximum of 2 m apart and 600 mm deep.

Put 1.5 m wooden posts (38 mm) at 1.2 m intervals (max 2 m) and 600 mm deep.



d) Fix geotextile to posts

Geotextile material allows water to pass through but traps sediments.

Use cable ties or staples to attach the geotextile to the upslope side of the fence posts.

Only join fabric at the pickets with a 150 mm overlap (wrap around post).



e) Spread volume of water.

Put a star picket 1.5 m upslope of the others every 20 m (if the fence is longer than 20 m). This spreads the volume of water that flows through each section of fence.

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Method 2 - Control dust and slurry from cutting

A large amount of dust can be made from cutting materials such as concrete, bricks and tiles. When mixed with water this material can be turned into slurry and washed into waterways. Cement changes the acidity of water which may then kill water plants and animals. The following methods will help keep this waste on site and out of the waterways:



a) Cut materials on site

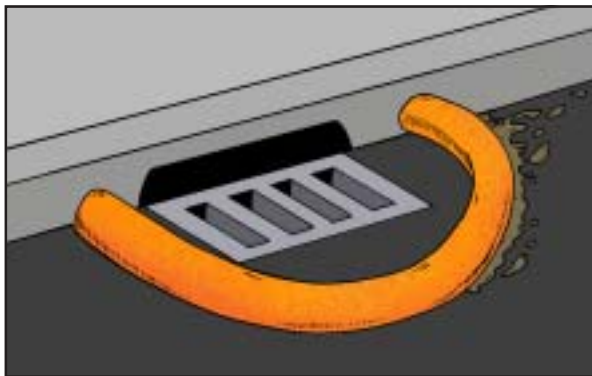
Choose a set area to do all your cutting. This area should be on the building site and away from all stormwater drains.

Equipment is available that captures water used in the cutting process (see page 3).



b) Put sediment control filters downslope

Sediment logs should be placed downslope to catch cutting slurry. A back-up sediment fence may also be used.



c) Use a gravel sausage or sediment log

When cutting must take place near stormwater drains, use gravel sausages or sediment logs.

Alternatively, you can buy sleeves from geotextile companies and fill these with sand.

Always clean up and correctly dispose of captured sediment.



d) Clean up when finished

When you have finished cutting, clean up your equipment in the cutting area.

Use a broom to clean up and get rid of the slurry where it can't get into the stormwater system. Dispose of in waste container

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SITE RULE 3

Contain stockpiles on site

Why are sand, soil and screenings a problem?

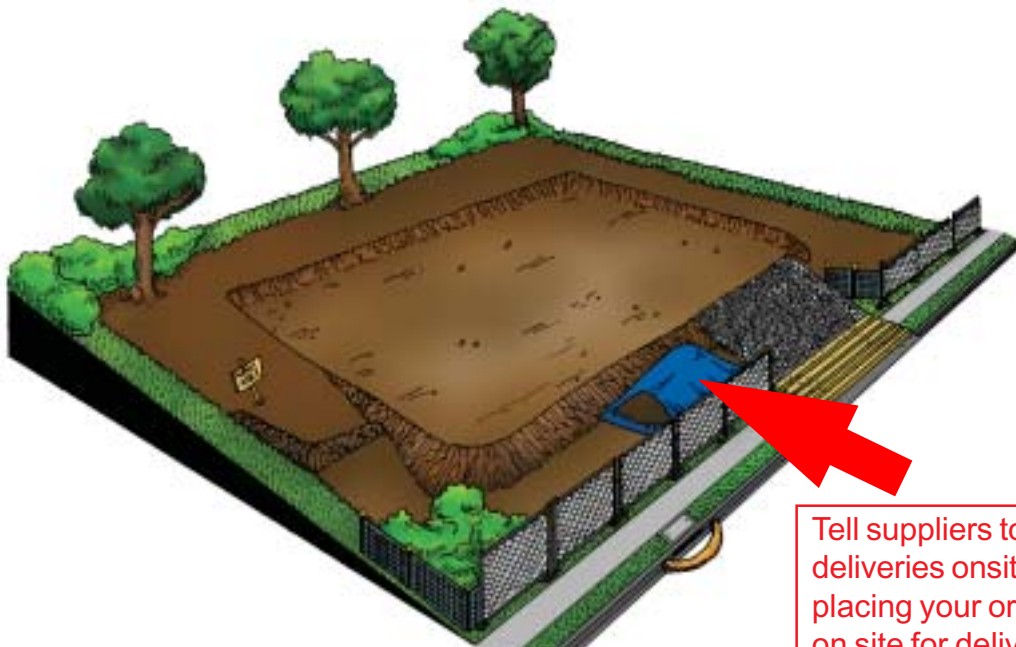


Sand, soil, screenings, dust or sludge from concrete and brick cutting, and other materials escaping from building sites can cause many problems.

Putting stockpiles such as sand, gravel, topsoil and mulch across footpaths and roads will cause a hazard to both vehicles and pedestrians.

Sediment can smother stormwater filtering systems including swales and raingardens.

Stockpiles should be stored on site, not on footpaths or roads.



Tell suppliers to place deliveries onsite when placing your order or be on site for deliveries to make sure they are put in the right place.

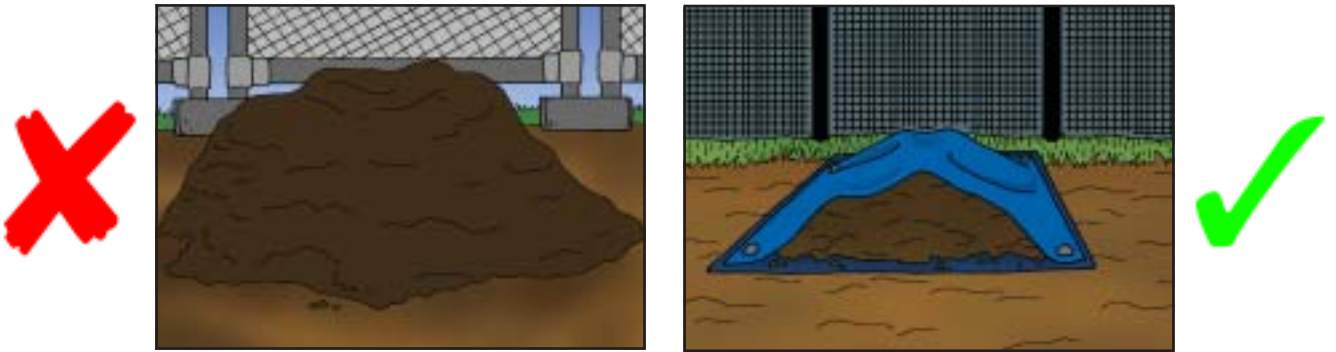
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Stockpiles not stored properly can get washed or blown away and pollute the stormwater.

This is particularly true of stockpiles that:

- Are high
- Have steep sides
- Are put on hard surfaces where they can be blown or washed away.



KEEPING STOCKPILES ON SITE

Place the stockpile in a designated area on site, and upslope of the sediment control fence.

If exposed for some time, stockpiles should be covered with a tarp.



In some cases it may be impossible to store stockpiles on site, and alternative control methods will be used.

Site Rule 3 - Contain stockpiles on site.

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WHEN UNABLE TO STORE STOCKPILES ON SITE

You may have to store a stockpile off site (although never on the footpath, gutter or road). Contact the council to make sure that you have the appropriate council permits.

The council will tell you how stockpiles stored off site are to be managed. Materials may be stored on tarps or on pallets. Containers such as rubbish skips with opening sides that you can get into easily are a good idea.

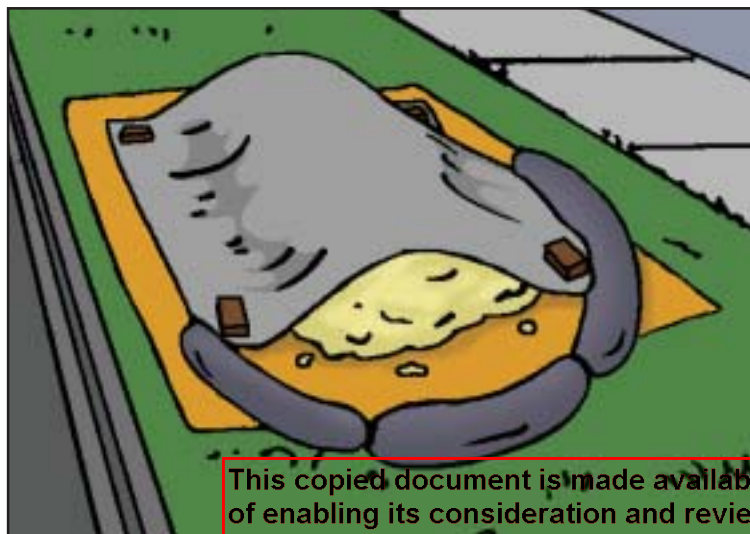


Material must not get into drains, gutters or the stormwater system

The following control methods can be used when storing materials or working off site.

Method 1 - Cover Stockpile

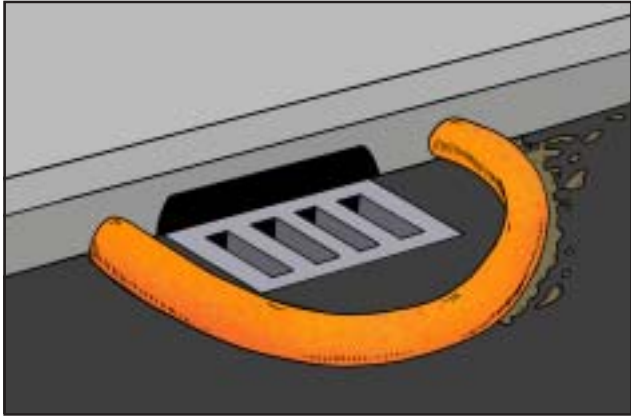
- a) Place a tarp, plastic or banded pallet under the area where the stockpile will be placed.
- b) Place a secured covering over the stockpile.
- c) Then place sediment control logs around the downslope base of the stockpile.



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Method 2 - Protect Downstream Stormwater Pit with a Gravel Sausage or Sediment Log

A gravel sausage or sediment log is a temporary collection device that can be used when stockpiles are stored or cutting is done off site. It is also a useful precautionary measure at all sites.

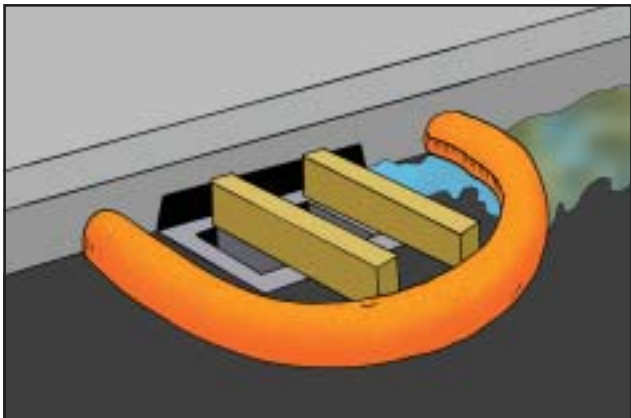


TO BUILD A GRAVEL SAUSAGE:

a) Make the sausage sleeve

A gravel sausage is made from a geotextile sleeve filled with 25 - 50 mm gravel.

The gravel sausage should be 150 mm high.



b) Put the gravel sausage across the opening of the inlet pit

Make sure that the sausage is tight with the kerbing on the upslope side of the inlet pit and extends beyond the grate.

There should be a 100 mm gap between the front of the pit and sausage. Use wooden blocks to keep the 100 mm gap.



c) Clean out gravel sausage regularly

When soil and sand builds up around the gravel sausage, this should be collected and disposed of on site.

Regular maintenance is required.

DO NOT HOSE SEDIMENT DOWN THE GUTTER

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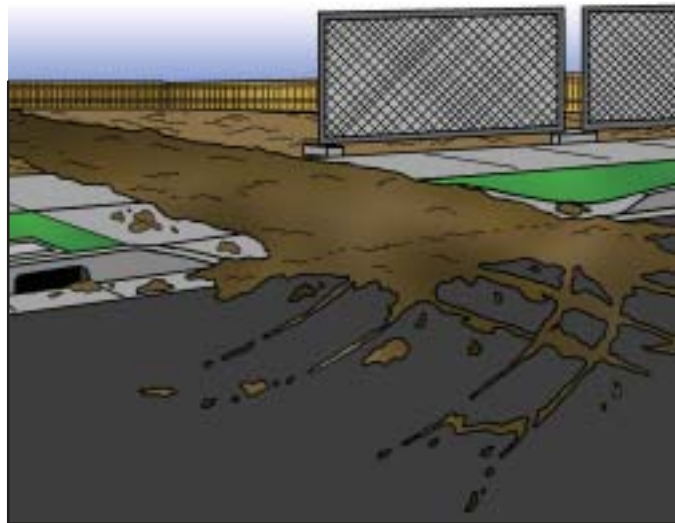
SITE RULE 4

Keep mud off road and on site

Why is mud a problem?

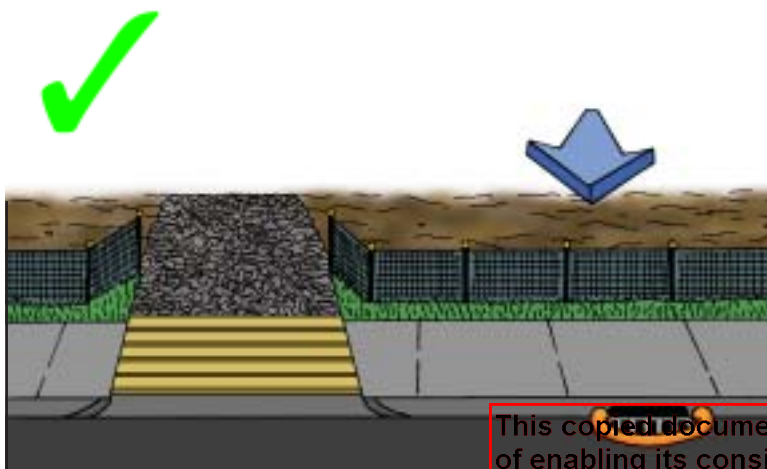
Two things happen when vehicles go on and off the site:

1. The surface area of the site is damaged making it dangerous.
2. Mud is carried back onto the roads and footpaths, and washes into the stormwater system.



METHODS TO CONTROL MUD

The following simple methods will help you to protect the surface of your site and help stop vehicles from dropping mud on the road from their wheels. The best way to do this is to put crushed rock on the crossover or access point of your building site.



Putting crushed rock on the access point of your site is a good way to prevent damage and provide a dry access point for vehicles. Where possible park vehicles off site.

Make sure gravel does not collect in the gutter or on the footpath.

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Control Method 1: Build a crushed rock crossover



Remove a 3m or greater strip of soil from road (or where concrete crossover ends) to nearest building point or a minimum of 5 m.

Use road base or 40 mm aggregate or crushed rock to a depth of 200 mm.

Restrict vehicle access to this point.

Control Method 2: Keep to crushed rock path



Only drive where you need to. Keep to a set path (preferably on crushed rock).

Control Method 3: Remove mud from tyres



Use a shovel to remove mud from truck tyres before leaving site.

Control Method 4: Clean road



If mud goes on road, remove as much as possible and put it back on site.

Use a broom or a shovel.

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SITE RULE 5

Keep litter contained on site

Why is litter a problem?

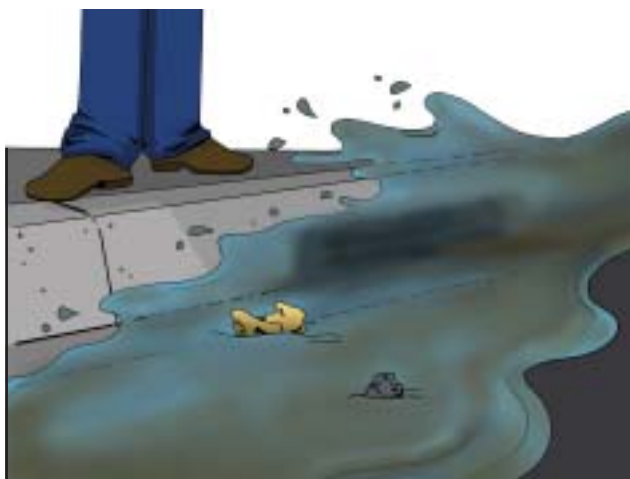


Many building sites have both building rubble and other rubbish spread across them.



This causes many problems:

You may now have an **UNSAFE WORK ENVIRONMENT!**
This could increase the chance of legal and public liability problems



Litter blowing off site can block stormwater drains.

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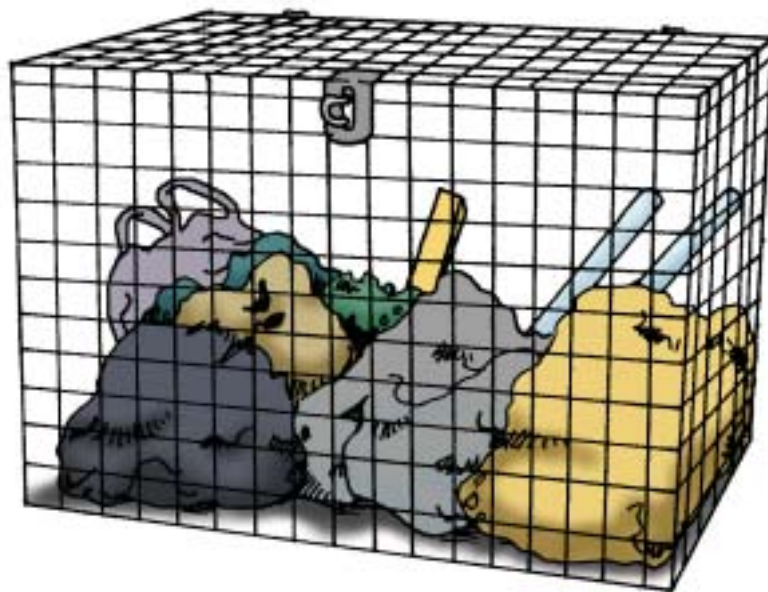
METHODS TO CONTROL LITTER

The following simple methods will help you to stop litter leaving your site or being a hazard on site.

Control Method 1: Litter bins or covered skips

A mesh bin with a closeable lid is suitable for larger items like cardboard boxes, plastic wrapping and polystyrene.

Mesh to be 50 mm or smaller



A smaller bin is okay for smaller rubbish like paper, food wrapping and drink containers that may be blown off site. Council bins may be restricted from building sites.

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Empty the litter bin regularly. Don't allow overflow. Where possible, collect the materials from the litter bin for recycling and /or keep different materials in separate bins.

CONSIDER A RECYCLING BIN

Control Method 2: Site fencing

Site fencing will help to keep litter from being carried off site by wind or water and provide security.

A FENCE DOES NOT NEGATE THE NEED FOR A BIN.



Check council requirements for temporary fencing and avoid trip hazards on footpath.



Remember to install a sediment control fence prior to installation of the temporary fence.

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SITE RULE 6

Clean and wash up on site

Why is washing up a problem?



When cleaning up after painting, plastering or concreting it's most important to keep the wash water out of the stormwater system.

Problems to the environment include:

- 1.** Oil based paints form a thin film over the surface of the water. This starves water plants and animals of oxygen
- 2.** Paints and petrol chemicals can contain toxic compounds
- 3.** Concrete changes the acidity of waterways which can kill water plants and animals. Concrete washings can harden and block drains
- 4.** Roads around a building site can become dirty, slippery and dangerous.



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METHODS TO CONTROL WASHING UP

The following simple methods will help you to stop the contamination of stormwater from paint, plaster or concrete washings.



Control Method 1: Have a set washing up area

Choose a set area to do all your washing up. This area should be on the building site and away from all stormwater drains. It should be bunded and contain wash out barrels.

You could use the same area you have chosen for tile and brick cutting.

Contain chemicals and slurry onsite.

Put sediment control fences downslope.

NOTE: SEDIMENT CONTROL FENCES WILL NOT STOP CHEMICALS

Control Method 2: Get rid of concrete slurry on site

Collect wash water from concrete mixers and pumps in a wheel barrow and get rid of it in your wash area. You can also safely get rid of

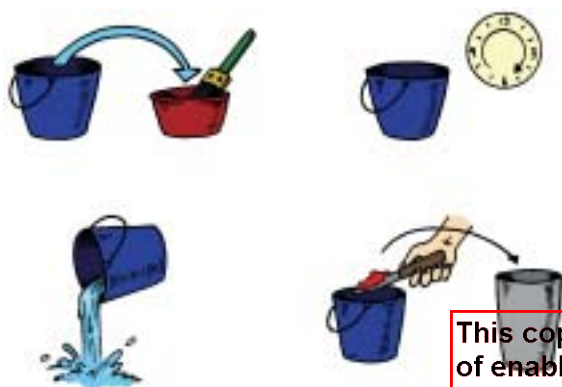
concrete slurry by tipping small amounts in a ditch lined with plastic or geotextile liners. When the water evaporates or soaks into the surface the solids can then be put into a skip bin or recycled in construction or as road base.



Control Method 3: Clean equipment off before washing

Brush dirt and mud off equipment before you wash it. Spin rollers and brushes to remove paint before you wash them in a wash out bin.

You will then need less water to clean this equipment.



Control Method 4: Clean painting tools carefully

Use one container to wash the brush and another to rinse it. Let the first container stand overnight to let solids settle. Then pour out the water on to the ground if it is not too dirty and put settled solids in a bin.

Wash oil based paints in solvent baths until

clean. **DO NOT PUT THE SOLVENT ON THE GROUND.** Contact a waste disposal company for removal.

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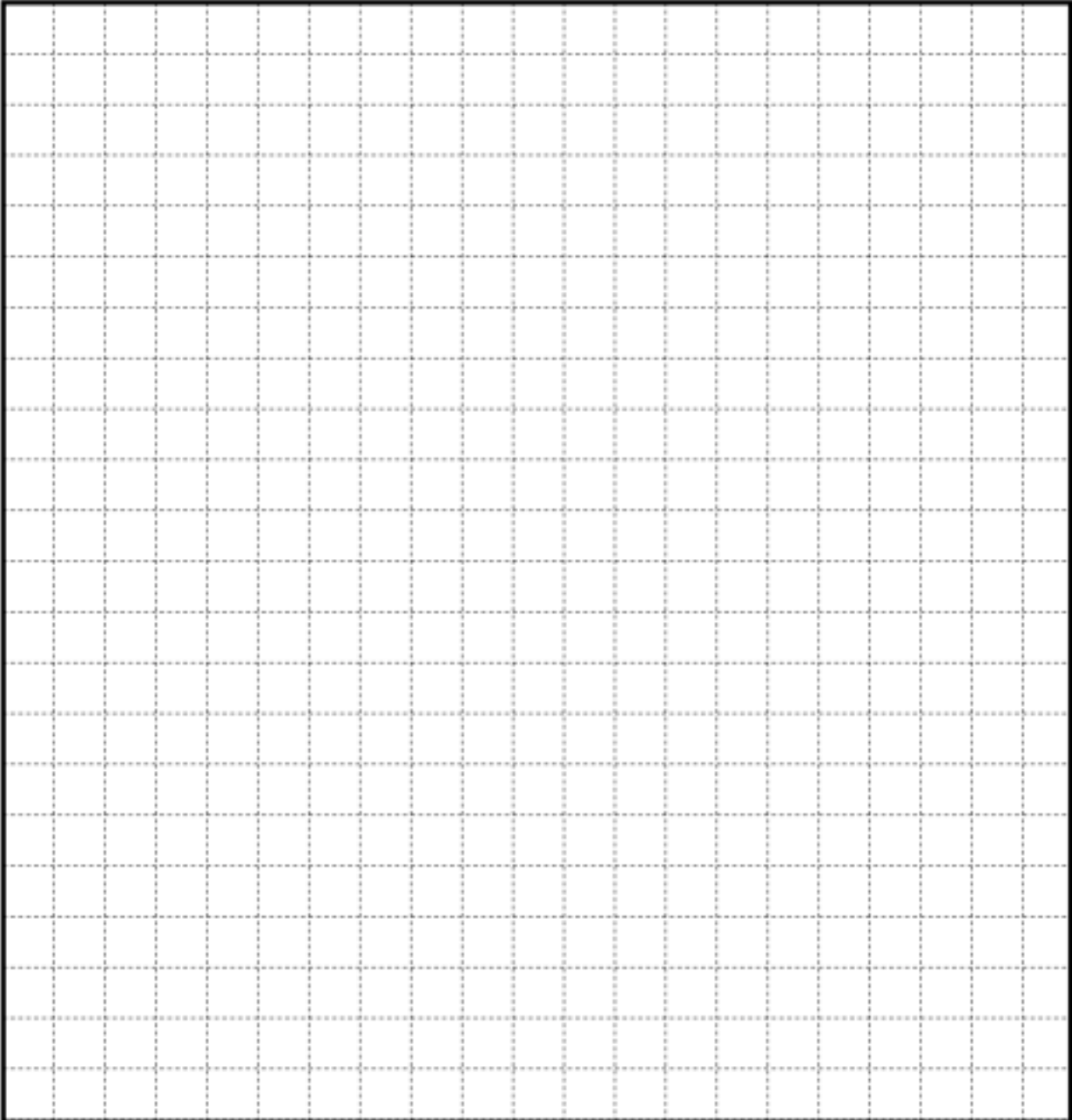
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SITE MANAGEMENT PLAN

Building Company: _____ Date: ____ / ____ / ____

Site Address: _____

Client Name: _____ Contact Number: () _____



LEGEND:

Scale:

— = 1 m



- Nth



- Bin



- Rumble grid



- Stabilised access point



- Vegetation to be retained



- Grass filter strip



- Gravel sausage



- Silt fence



- Stockpile



- Skip



- Temporary Fencing



- Water

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CLEAN SITE CHECKLIST

Please photocopy to use on site

SITE DETAILS:

Building Company: _____ Date: ____ / ____ / ____

Site Supervisor: _____

Site Address: _____

Client Name: _____ Contact Number: () _____

SITE RULE	TASK	CHECK
SITE RULE 1 - Check Council requirements and plan before you start work on site.	Crossover away from lowest point	<input type="checkbox"/>
	Sediment control fence on lowest side	<input type="checkbox"/>
	Stockpiles away from lowest point	<input type="checkbox"/>
	Marked trees and vegetation to keep on site	<input type="checkbox"/>
SITE RULE 2 - Stop erosion on site and contain sediments.	Sediment control fence in place	<input type="checkbox"/>
	Catch drains on high side of site	<input type="checkbox"/>
	Vegetation areas kept at boundary	<input type="checkbox"/>
	Gravel sausage at storm water pit	<input type="checkbox"/>
	Downpipes set up as early as possible	<input type="checkbox"/>
SITE RULE 3 - Protect stockpiles.	Base and cover for stockpiles	<input type="checkbox"/>
	Gravel sausage at stormwater pit	<input type="checkbox"/>
SITE RULE 4 - Keep mud off road and on site.	Crushed rock access point	<input type="checkbox"/>
	Vehicles keep to crushed rock areas	<input type="checkbox"/>
	Mud removed from tyres before leaving site	<input type="checkbox"/>
	Clean road if muddy	<input type="checkbox"/>
	Clean stormwater pit and maintain gravel sausage	<input type="checkbox"/>
SITE RULE 5 - Keep litter contained on site.	Litter bins in place with lid closed	<input type="checkbox"/>
	Site fencing in place	<input type="checkbox"/>
SITE RULE 6 - Clean and wash up on site.	Cutting and clean up area on site	<input type="checkbox"/>
	Clean equipment off before washing	<input type="checkbox"/>
	Sediment filters downslope	<input type="checkbox"/>
	Contain all washings on site	<input type="checkbox"/>

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6 RULES FOR A CLEAN WORKSITE

SITE RULE 1 -

Check Council requirements and plan before you start work on site.

SITE RULE 2 -

Stop erosion on site and contain sediments.

SITE RULE 3 -

Protect stockpiles.

SITE RULE 4 -

Keep mud off road and on site.

SITE RULE 5 -

Keep litter contained on site.

SITE RULE 6 -

Clean and wash up on site.

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Melbourne Water on 131 722
or email enquiry@melbournewater.com

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Application outcome

Build Over Easement (BOE)



Application ID:	Date:
00028554	21/02/2026

Address:	33 Nathalia Street Broadmeadows Vic 3047
SLID:	1207099
Lot/Plan number:	605/LP96700

Hello,

Thank you for your application. Your Build Over Easement (BOE) Application has been **approved**. You can go ahead with the plans you submitted with this application.

Below are the conditions that you have met as part of this approval. Send this document to your builder, plumber and other interested parties to make them aware of these conditions.

Conditions

The below conditions must be read in conjunction with our Standard Terms and Conditions and the Build over easement guidelines which are available on our website at www.yvw.com.au/boe

The balconies, eaves and canopies

- **are permitted with no conditions imposed** on the basis that the proposed structures are not within one metre of any Yarra Valley Water asset.

The lightweight garages, carports, pergolas, verandahs, gazebos, sails and decking

- **are permitted with no conditions imposed** on the basis that the proposed structures are not within one metre of any Yarra Valley Water asset.

The lightweight sheds

- **are permitted with no conditions imposed** on the basis that the proposed structures are not within one metre of any Yarra Valley Water asset.

The residential structure

- **is permitted with no conditions imposed** on the basis that the proposed structures are not within one metre of any Yarra Valley Water asset.

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Changes to plans

You must contact us if you want to add or change a building/structure that is located in an easement or within one metre of our infrastructure.

If you change your plans without an updated approval from us:

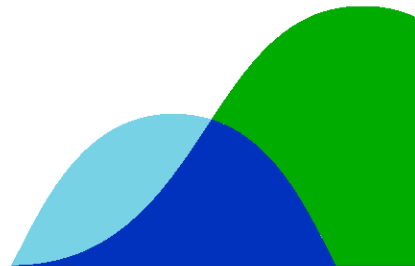
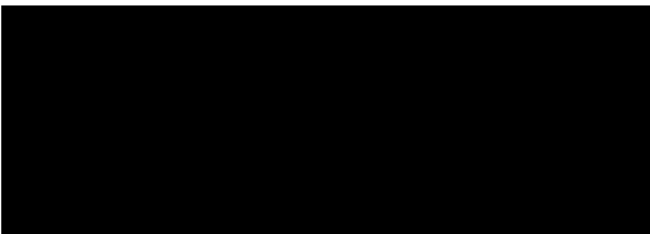
- You may need to change or remove your unapproved structure.
- If we need to access our infrastructure near the unapproved work, and as a result it is damaged or removed, we will not reinstate the structure or landscaping.
- If our asset is damaged by you or your contractors while undertaking your work, you as the property owner must pay any costs incurred due to damaging our assets.

To view our assets and easements please visit www.yvw.com.au/gis

The information in this Application Outcome supersedes any previous written or verbal advice that we've provided.

If you need more information or have questions, we're here to help. Our contact details are below.

Yours sincerely,



Contact us

www.yvw.com.au/boe

easyaccess@yvw.com.au

Development Services 1300 651 511

Faults and emergencies

TTY Voice Calls 133 677
Speak and Listen 1300555727

For language assistance

廣東話 1300 921 362
Ελληνικά 1300 931 364
普通话 1300 927 363

For all other languages call our translation service on 03 9046 4173

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