

Application for Planning Permit

Planning Enquiries
Phone: 03 9205 2200
Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 70	St. Name: cuthbert street
Suburb/Locality: broadmeadows		Postcode: 3047

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A	Lot No.: 323	☐ Lodged Plan	☐ Title Plan	☒ Plan of Subdivision	No.: 059115
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal i **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:

[How to Complete the Application for Planning Permit Form](#)

Proposed 2 Lot development side by side single

📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

Cost \$500000

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions i

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing building on site

📎 Provide a plan of the existing conditions. Photos are also helpful.

The copy must not be used for any other purpose. Please note that the plan may not be to scale.

Title Information

5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number *

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:			
Title: Mr	First Name: [REDACTED]	Surname: [REDACTED]	
Organisation (if applicable): [REDACTED]			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: [REDACTED]	St. No.: [REDACTED]	St. Name: [REDACTED]	
Suburb/Locality: [REDACTED]		State: [REDACTED]	Postcode: [REDACTED]
Contact person's details *			
Same as applicant (if so, go to 'contact information') ☒			
Name:			
Title: Mr	First Name: [REDACTED]	Surname: [REDACTED]	
Organisation (if applicable): [REDACTED]			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: [REDACTED]	St. No.: [REDACTED]	St. Name: [REDACTED]	
Suburb/Locality: [REDACTED]		State: [REDACTED]	Postcode: [REDACTED]
Contact information			
Business Phone: [REDACTED]		Email: [REDACTED]	
Mobile Phone: [REDACTED]		Fax: [REDACTED]	
Name: Same as applicant ☐			
Title: Mr	First Name: [REDACTED]	Surname: [REDACTED]	
Organisation (if applicable): [REDACTED]			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: [REDACTED]	St. No.: [REDACTED]	St. Name: [REDACTED]	
Suburb/Locality: [REDACTED]		State: [REDACTED]	Postcode: [REDACTED]
Owner's Signature (Optional): [REDACTED]		Date: 26.05.26 day / month / year	

Declaration

7 This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: [REDACTED]

Date: 26.05.26

day / month / year

Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**

☒ No ☐ Yes

Checklist

9 **Have you:**

☒ Filled in the form completely?

☐ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 **Provided all necessary supporting information and documents?**

☒ A full, current copy of title information for each individual parcel of land forming the subject site

☒ A plan of existing conditions.

☒ Plans showing the layout and details of the proposal

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☒ If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

☒ If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

☒ Completed the relevant Council planning permit checklist?

☐ Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08728 FOLIO 588

Security no : 124134457525U
Produced 07/05/2026 04:08 PM

LAND DESCRIPTION

Lot 323 on Plan of Subdivision 059115.
PARENT TITLE Volume 08644 Folio 850
Created by instrument A866766 26/06/1968

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor



ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY724095T 18/12/2024
COMMONWEALTH BANK OF AUSTRALIA

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP059115 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 70 CUTHBERT STREET BROADMEADOWS VIC 3047

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 18/12/2024

DOCUMENT END

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Document Type	Plan
Document Identification	LP059115
Number of Pages (excluding this cover sheet)	5
Document Assembled	07/05/2026 16:08

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HOUSING COMMISSION VICTORIA
BROADMEADOWS ESTATE
PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENT A SECTION II
PARISH OF WILL WILL ROOK
COUNTY OF BOURKE

VOL. 8644 FOL. 850

Measurements are in Feet & Inches

Conversion Factor

FEET X 0.3048 = METRES

LP59115

EDITION 6

APPROVED 22/4/68

COLOUR CONVERSION

E-1 = BLUE

E-2 = GREEN

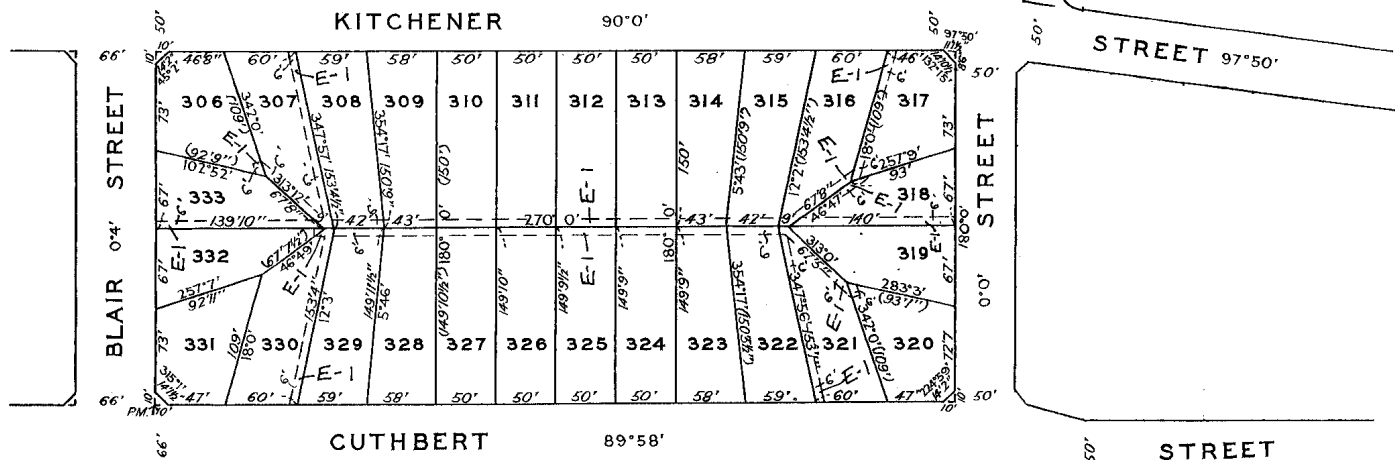
APPROPRIATIONS

The land coloured Blue is set apart for Drainage, Sewerage and Gas supply purposes and is 6 feet wide except where otherwise shown.

NOTATIONS

LOTS 528 TO 578, BOTH INCLUSIVE, IN THE NAMES — OF REGISTERED PROPRIETORS OTHER THAN THE HOUSING COMMISSION ARE INCLUDED IN THIS PLAN PURSUANT TO SECTION 23 OF ACT 6275

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ENCUMBRANCES

THE LAND MARKED E-2 IS ENCUMBERED FOR DRAINAGE & SEWERAGE PURPOSES VIDE L.P. 10178

AS TO THE LAND MARKED E-3, THE EASEMENT TO THE M.M.B.W. CREATED BY A 859811

AS TO THE LAND MARKED E-4, THE EASEMENT TO THE M.M.B.W. CREATED BY A 743693

AS TO THE LAND MARKED E-5, THE EASEMENT TO THE M.M.B.W. CREATED BY A 821422

AS TO THE LAND MARKED E-6, THE EASEMENT TO THE M.M.B.W. CREATED BY B 282147

THE LAND MARKED E-7, IS ENCUMBERED VIDE THE RELATIVE CERTIFICATES OF TITLE

AS TO THE LAND MARKED E-8 THE EASEMENT TO M.M.B.W. CREATED BY A743695

AS TO THE LAND MARKED E-9 THE EASEMENT TO M.M.B.W. CREATED BY A776403

AS TO THE LAND MARKED E-10 THE EASEMENT TO M.M.B.W. CREATED BY A776396

AS TO THE LAND MARKED E-11 THE EASEMENT TO M.M.B.W. CREATED BY A757055

AS TO THE LAND MARKED E-12 THE EASEMENT TO M.M.B.W. CREATED BY A787336

AS TO THE LAND MARKED E-13 THE EASEMENT FOR THE PURPOSE OF DISTRIBUTION OF ELECTRICITY BY UNDERGROUND POWERLINES AS SET OUT IN MEMORANDUM OF COMMON PROVISIONS NO. AA9247 IN FAVOUR OF JEMENA ELECTRICITY NETWORKS (VIC) LTD BY AY373576E

SEE SHEET TWO

FOUR SHEETS
SHEET ONE

WZO

THESE

SEE SHEET THREE

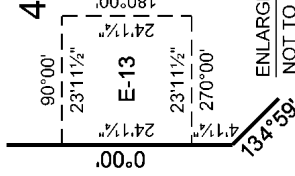


FOUR SHEETS
SHEET... TWO...

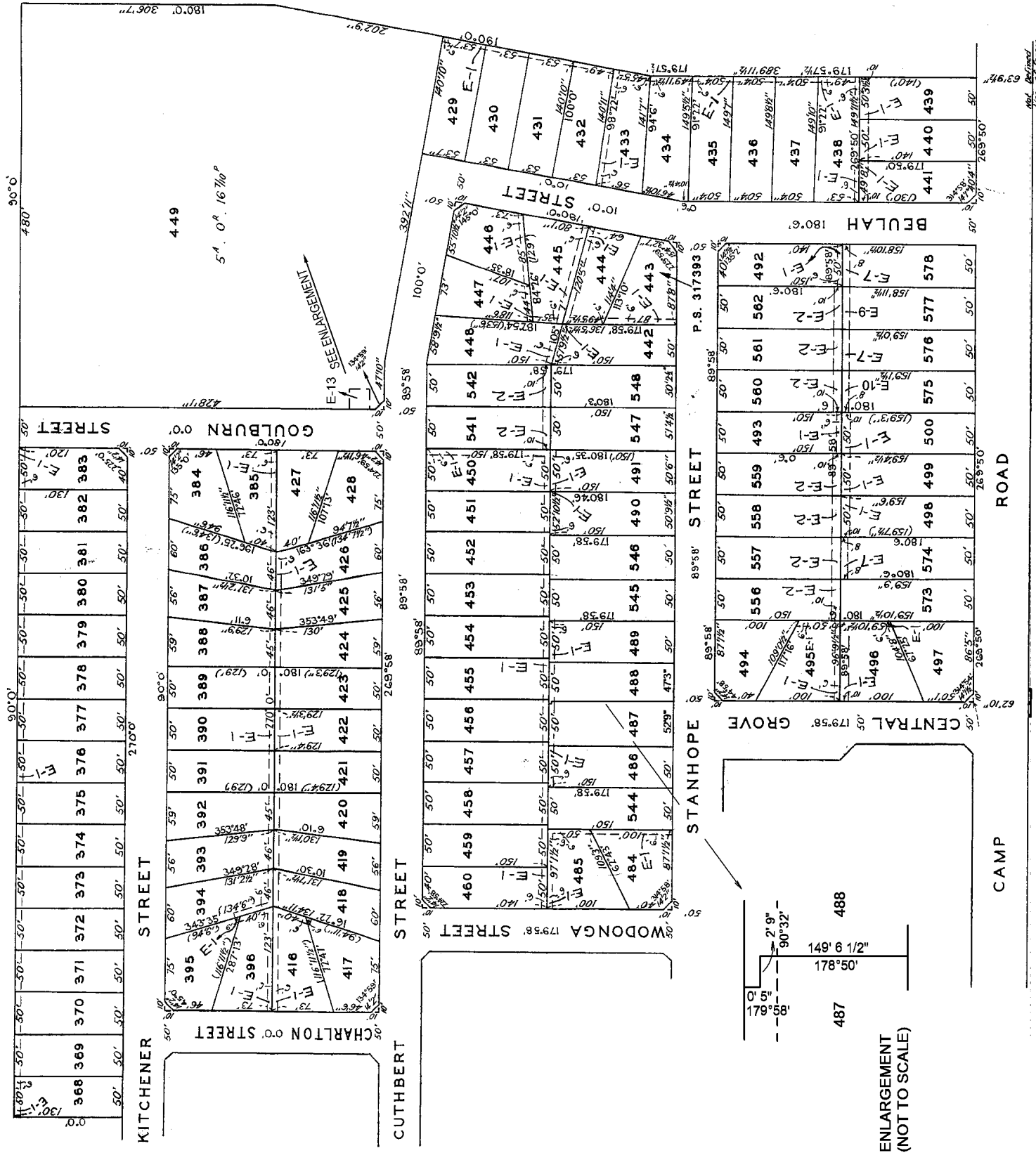
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LP59115

449



FOUR...SHEETS
SHEET...THREE



SEE SHEET TWO

ENLARGEMENT
(NOT TO SCALE)

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.
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PLAN NUMBER

LP 59115

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 567	E-3	CREATION OF EASEMENT	A 859811			2	AD.
LOT 566	E-4	CREATION OF EASEMENT	A 743693			3	AD.
LOT 572	E-5	CREATION OF EASEMENT	A 821422			3	AD.
LOT 564	E-6	CREATION OF EASEMENT	B 282147			3	AD.
VARIOUS LOTS	E-2	EASEMENTS ENHANCED				3	AD.
	E-8	CREATION OF EASEMENT	A743695			4	AD.
LOT 577	E-9	CREATION OF EASEMENT	A776403			4	AD.
LOT 575	E-10	CREATION OF EASEMENT	A776396			4	AD.
LOT 570	E-11	CREATION OF EASEMENT	A757055			4	AD.
LOT 568	E-12	CREATION OF EASEMENT	A787336			4	AD.

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MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER

LP59115

**WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
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[illegible]

Townhouse and Low-Rise Code

Written Statement checklist



Department
of Transport
and Planning

Under clause 55.01 (Application requirements) of the planning scheme an application must be accompanied by “a written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines”.

This checklist can be used to complete the written statement.

Where all the applicable standards shaded in grey are met, an objector has no right of appeal.

Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B2-1 Street setback (Clause 55.02-1)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as front setbacks a 6m
Standard B2-2 Building height (Clause 55.02-2)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as Max building height is 5.64m and does not exceed GRZ Requirements .
Standard B2-3 Side and rear setbacks (Clause 55.02-3)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as min setback 1.165m on the eastern boundary and does comply with the setback requirements.
Standard B2-4 Walls on boundaries (Clause 55.02-4)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as both walls on boundaries do not exceed the max wall on boundary height requirement. Eastern boundary 3.06m and Western Boundary 3m.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B2-5 Site coverage (Clause 55.02-5)	☒ Yes ☒ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as proposal is at 58% , well below the max allowed 65%
Standard B2-6 Access (Clause 55.02-6)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as driveways do not exceed the max 40% of the street Frontage as there are two driveways at 3m wide each with the frontage at 17.68m .
Standard B2-7 Tree canopy (Clause 55.02-7)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as the proposed tree canopy coverage is 77.2sqm well above the 70.64sqm required.
Standard B2-8 Front fences (Clause 55.02-8)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as the proposed front blade fence at 0.9m height is well below the 1.5m max requirement.
Standard B3-1 Dwelling diversity (Clause 55.03-1)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as all bedrooms and living areas are on ground floor .
Standard B3-2 Parking location (Clause 55.03-2)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as each dwelling has a garage and is away from habitable windows
Standard B3-3 Street integration (Clause 55.03-3)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard Met as there is a pathway from the front entry to the street frontage that is illuminated and windows for surveillance
Standard B3-4 Entry (Clause 55.03-4)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as both dwelling have covered porches

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-5 Private open space (Clause 55.03-5)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as both proposed dwellings have more than the required Private open space as dwelling 1 has 88.73 m2 and dwelling 2 has 90.77m2.
Standard B3-6 Solar access to open space (Clause 55.03-6)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as both dwellings SPOS are north facing
Standard B3-7 Functional layout (Clause 55.03-7)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as both dwellings main bedrooms min Depth are 4.8m and width of 3.3m as all other bedrooms are 3m depth and 3.4 width.
Standard B3-8 Room depth (Clause 55.03-8)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as the min dwelling ceiling heights are 2.7m high
Standard B3-9 Daylight to new windows (Clause 55.03-9)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as all side setbacks are above the min 1m clear and all gutters are on wall.
Standard B3-10 Natural ventilation (Clause 55.03-10)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as demonstrated on page 4 with the min breeze paths above 7m
Standard B3-11 Storage (Clause 55.03-11)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as each dwelling has over 12m3 within the dwelling and 6m3 externally

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-12 Accessibility for apartment developments (Clause 55.03-12)	☐ Yes ☒ No	No, irrespective of whether the standard is met or not.	Not Applicable as not an apartment development
Standard B4-1 Daylight to existing windows (Clause 55.04-1)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as the side setbacks are well over the required setbacks for daylight to existing windows and no walls on boundary are above 3.2m high as shown on page 2
Standard B4-2 Existing north-facing windows (Clause 55.04-2)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as the rear setbacks are north facing and are clear of any neighbouring dwellings.
Standard B4-3 Overshadowing secluded open space (Clause 55.04-3)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as there is no proposed extra overshadowing into neighbouring properties
Standard B4-4 Overlooking (Clause 55.04-4)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard met as the proposed dwellings are single storey as shown page 4
Standard B4-5 Internal views (Clause 55.04-5)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as there are no views into habitable rooms or SPOS of each dwelling or neighbours.
Standard B5-1 Permeability and stormwater management (Clause 55.05-1)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as shown on page 6 with the WSUD plan and associated BLUEFACTOR report

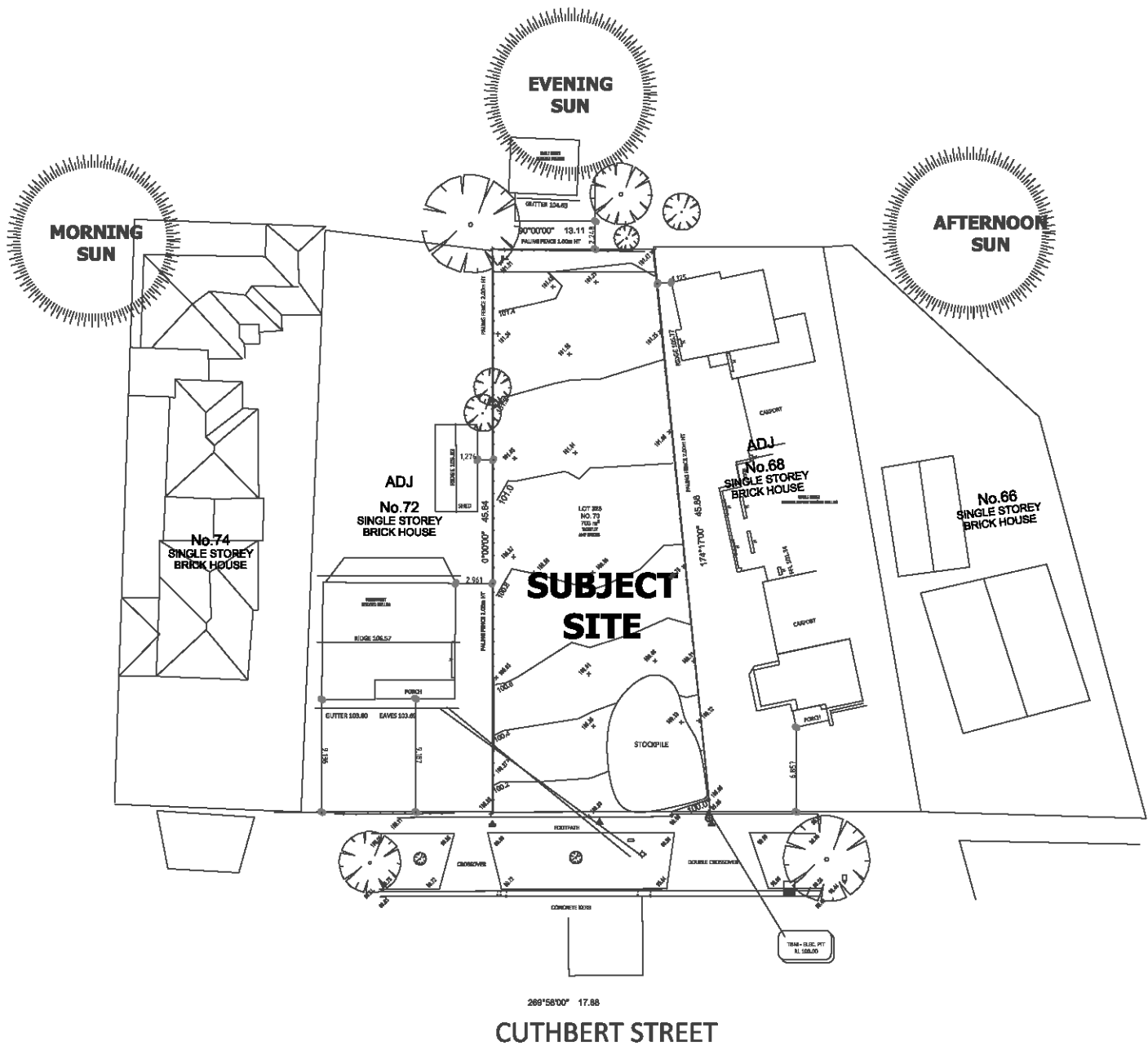


Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B5-2 Overshadowing domestic solar energy systems (Clause 55.05-2)	☒ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard Met as there is no proposed overshadowing as demonstrated on pages 8-9
Standard B5-3 Rooftop solar energy generation area (Clause 55.05-3)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as demonstrated with the Solar PV layout plan on page 7. a min of 34sqm per dwelling has been allocated for solar generation
Standard B5-4 Solar protection to new north-facing windows (Clause 55.05-4)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as there are no north facing windows only the living areas sliding doors as shown on page 2
Standard B5-5 Waste and recycling (Clause 55.05-5)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as there bin waste areas are min 1.8m2 and are shown on page 2
Standard B5-6 Noise impacts (Clause 55.05-6)	☒ Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard met as all ac/hu , hot water units are located in suitable areas as not to impact noise in the dwellings
Standard B5-7 Energy efficiency for apartment developments (Clause 55.05-7)	☐ Yes ☒ No	No, irrespective of whether the standard is met or not.	Not Applicable as not an apartment development

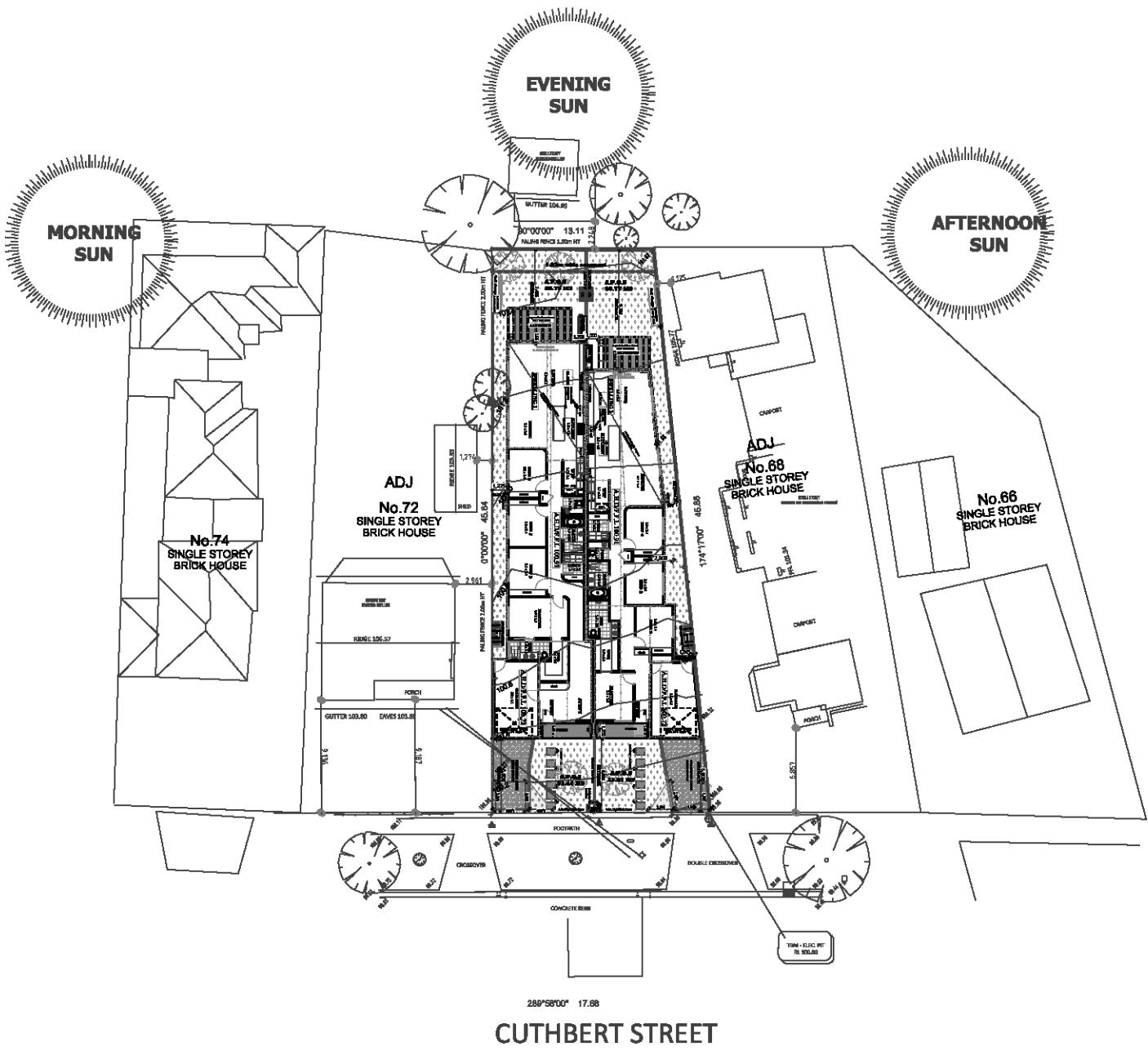
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LEGEND

- 7. ADJOINING B/V RESIDENCE
- 8. ADJOINING W/B RESIDENCE
- 9. ADJOINING RENDERED B/V
- 10. VACANT LAND
- S. SINGLE STOREY
- D. DOUBLE STOREY
- T. TRIPPLE STOREY
- V VERANDAH
- PER PERGOLA
- SH SHED
- G GARAGE
- CP CAR PORT
- CS CAR SPACE
- P.F: PAILING FENCE
- SF: STEEL FENCE
- BF: BRICK FENCE
- CF: CYCLONE FENCE
- NF: NO FENCE
- TF: TIMBER FENCE
- FF: FOLIAGE FENCE
- > EXISTING VEHICLE CROSSING
- 5.25m SET BACK
- P.O.S- private open space
- (HW) HABITABLE WINDOWS
- (NHW) NON HABITABLE WINDOWS
- P.P POWER POLE
- EXISTING TREES



NEIGHBOURHOOD
& SITE DESCRIPTION
SCALE 1:500



DESIGN
RESPONSE PLAN
SCALE 1:500

- 1. NOISE DIRECTION →
- 2. MELBOURNE CBD - 22kms ↘
- 3. SCHOOL 600M ↑
- 4. PUBLIC TRANSPORT 450m ↙
- 5. SEABROOK Reserve 700m ↘
- 6. SHOPS 230M ←

NOTE:
SITE IS SLOPED

NOTE:
ADJACENT P.O.S TO BE PROTECTED FROM
OVER VIEWING WITH A 1800H TIMBER
PAILING FENCE.

NOTE:
MATERIALS, COLOURS AND TEXTURES ARE
SELECTED TO HIGHLIGHT THE ARCHITECTURAL
FORMS AND REFLECT THE ADJACENT DWELLINGS

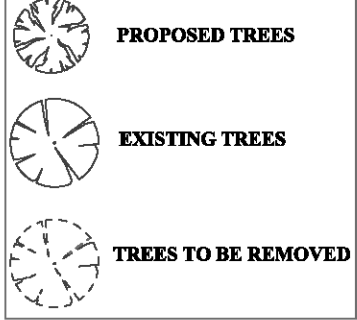
NOTE:
BREAK UP LARGE FORMS WITH
ARTICULATED DIMENTIONS IN PLAN AND
ELEVATION, TO MAINTAIN A SCALE RELEVANT TO
THE ADJOINING BUILDING.

NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:
(1) A suitable Tree Protection Zone of 8.0m radius shall be established around the street trees on the CUTHBERT STREET frontage.
(2) The Protection Zone must be enclosed using a 1.8m high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the kerbside, which must be kept clear for pedestrian access, and a sign must be erected on the fence indicating that the area is a Tree Protection Zone.
(3) The Area within the Tree Protection Zone must not be obstructed by any means including, parking of vehicles or storage of plants and equipment, materials, soil or waste.
(4) No construction is allowed within the Tree Protection Zone except with the consent of Council's Tree Planning Department and under the supervision of a qualified arborist.
All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.



NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A2
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	CLIENT			SCALE:	AS NOTED
	PROPRIETOR			DRAW:	
				DATE:	14.05.2026
				DRAWING NO:	01 A2

DWELLING 1	DWELLING 2	AREA ANALYSIS
AREA: m² sq.	AREA: m² sq.	SITE AREA: 702.64m²
ground floor: 189.43 20.39	ground floor: 175.97 18.94	BUILT UP AREA: 407.82m²
garage: 24.38 2.62	garage: 26.27 2.83	CONCRETE AREA:(37.32m²) 434.89m²
porch: 1.67 0.18	porch: 1.67 0.18	SITE COVERAGE: 58.04%
Alfresco: 14.04 1.51	Alfresco: 13.24 1.43	PERMIBILITY: 30%
TOTAL: 229.52 24.70		GARDEN AREA 35% OF SITE AREA =245.92m²
TOTAL: 217.15 23.38		PROPOSED GARDEN AREA= (245.96m²)
TOTAL: 446.67m² 48.08sq.		



NOTES:
The maximum grade along the parking area to be 1:20 .

NOTES:
Grades and grade changes along vehicle accessways are to be in accordance with the relevant Australian Standard and the Moonee Valley Planning Scheme.

NOTES:
Grades and grade changes along vehicle accessways are to be in accordance with the relevant Australian Standard and the Moonee Valley Planning Scheme.

NOTES:
Headroom clearance within the parking area (including at the entry point with the garage door open) to be a min. 2.1m.

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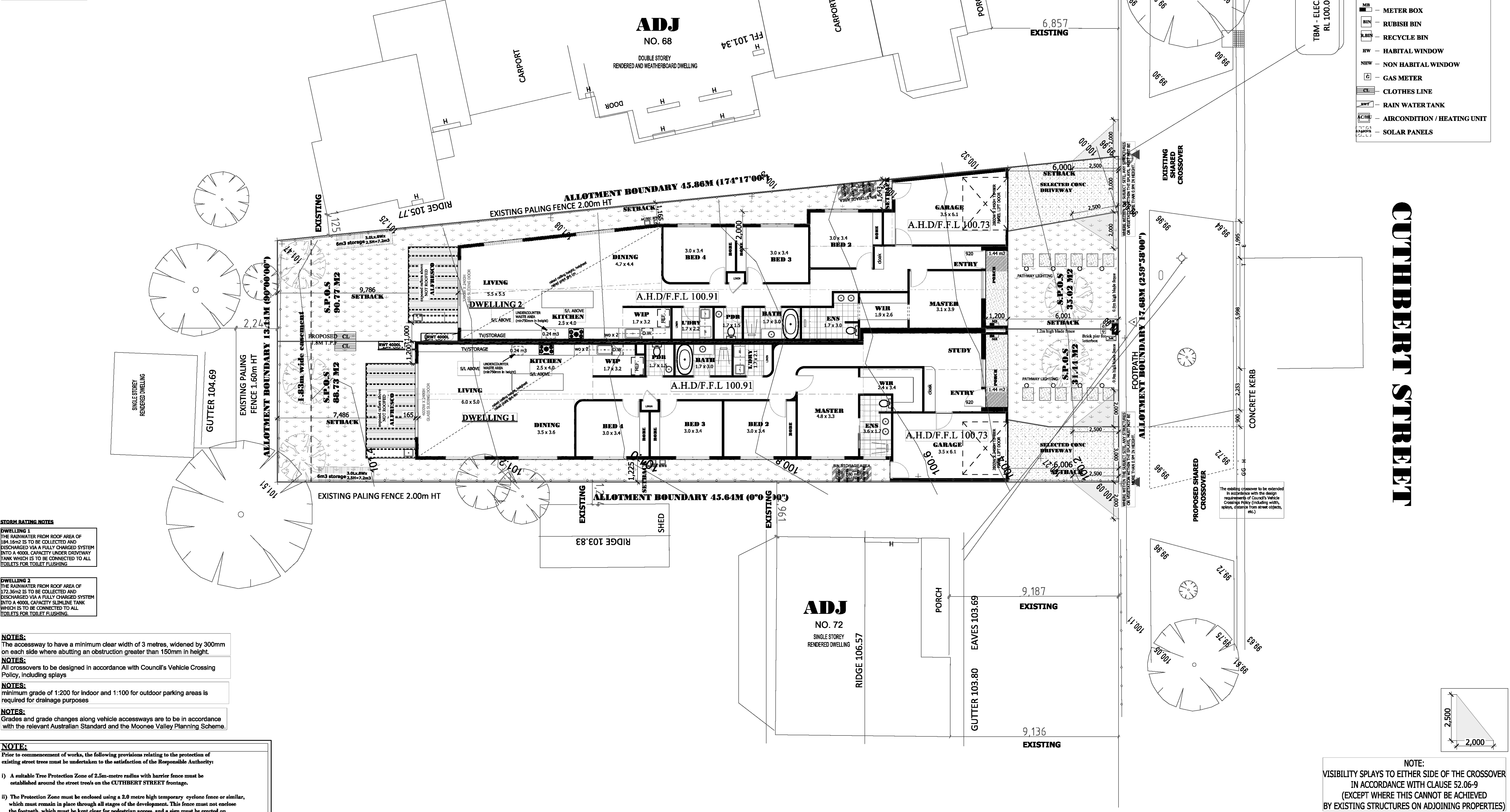
NOTE: SITE IS FLAT

NOTE:
ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800H TIMBER PAILING FENCE

NOTE:
MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS

NOTE:
BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.

LEGEND	
	LETTER BOX
	HOT WATER SERVICE
	METER BOX
	RUBBISH BIN
	RECYCLE BIN
	HABITAT WINDOW
	NON HABITAT WINDOW
	GAS METER
	CLOTHES LINE
	RAIN WATER TANK
	AIRCONDITION / HEATING UNIT
	SOLAR PANELS



STORM RATING NOTES

DWELLING 1
THE RAINWATER FROM ROOF AREA OF 184.16m² IS TO BE COLLECTED AND DISCHARGED VIA A FULLY CHARGED SYSTEM INTO A 4000L CAPACITY UNDER DRIVEWAY TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING.

DWELLING 2
THE RAINWATER FROM ROOF AREA OF 172.36m² IS TO BE COLLECTED AND DISCHARGED VIA A FULLY CHARGED SYSTEM INTO A 4000L CAPACITY SLIMLINE TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING.

NOTES:
The accessway to have a minimum clear width of 3 metres, widened by 300mm on each side where abutting an obstruction greater than 150mm in height.

NOTES:
All crossovers to be designed in accordance with Council's Vehicle Crossing Policy, including splays

NOTES:
minimum grade of 1:200 for indoor and 1:100 for outdoor parking areas is required for drainage purposes

NOTES:
Grades and grade changes along vehicle accessways are to be in accordance with the relevant Australian Standard and the Moonee Valley Planning Scheme.

NOTE:
Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

i) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street trees on the CUTHBERT STREET frontage.

ii) The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone'.

iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.

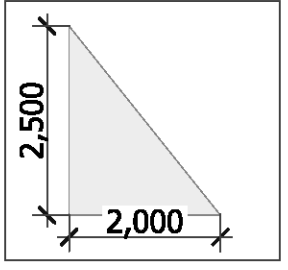
iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.

All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.

SITE LAYOUT / GROUND FLOOR PLAN

SCALE 1:100

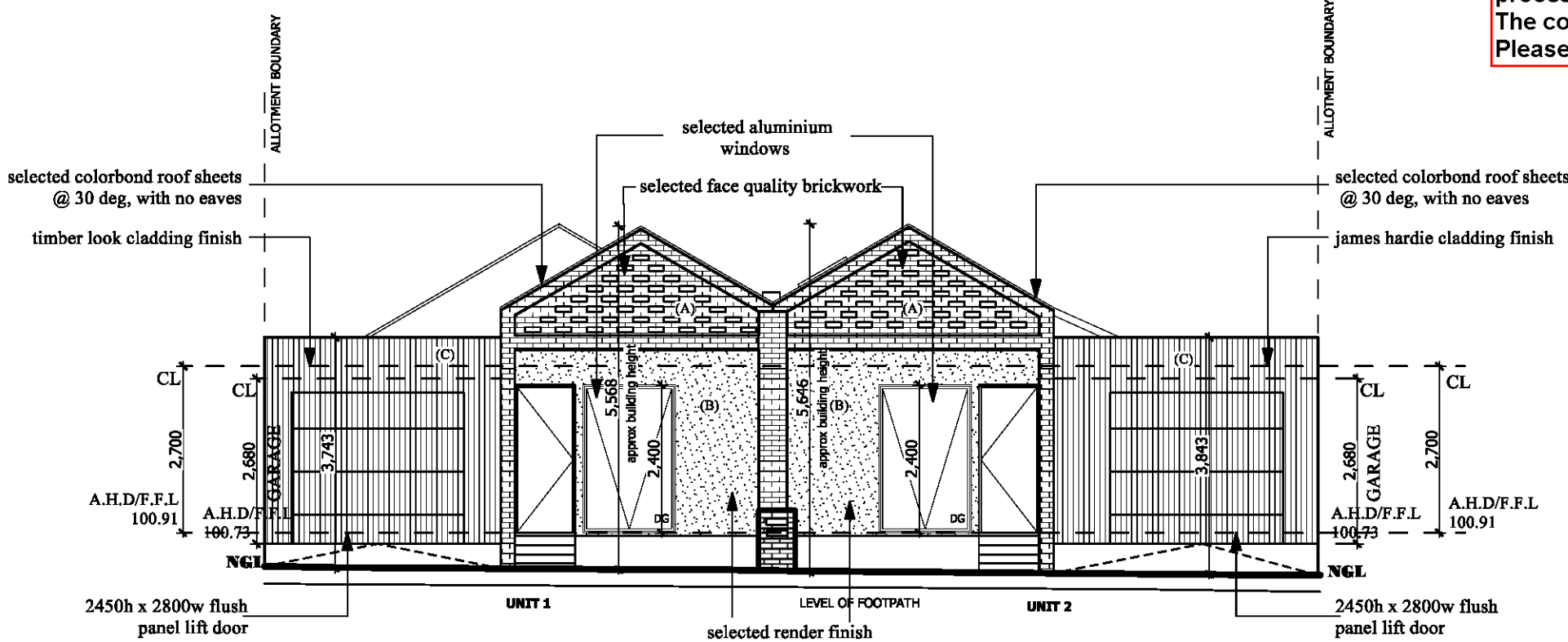
CUTHBERT STREET



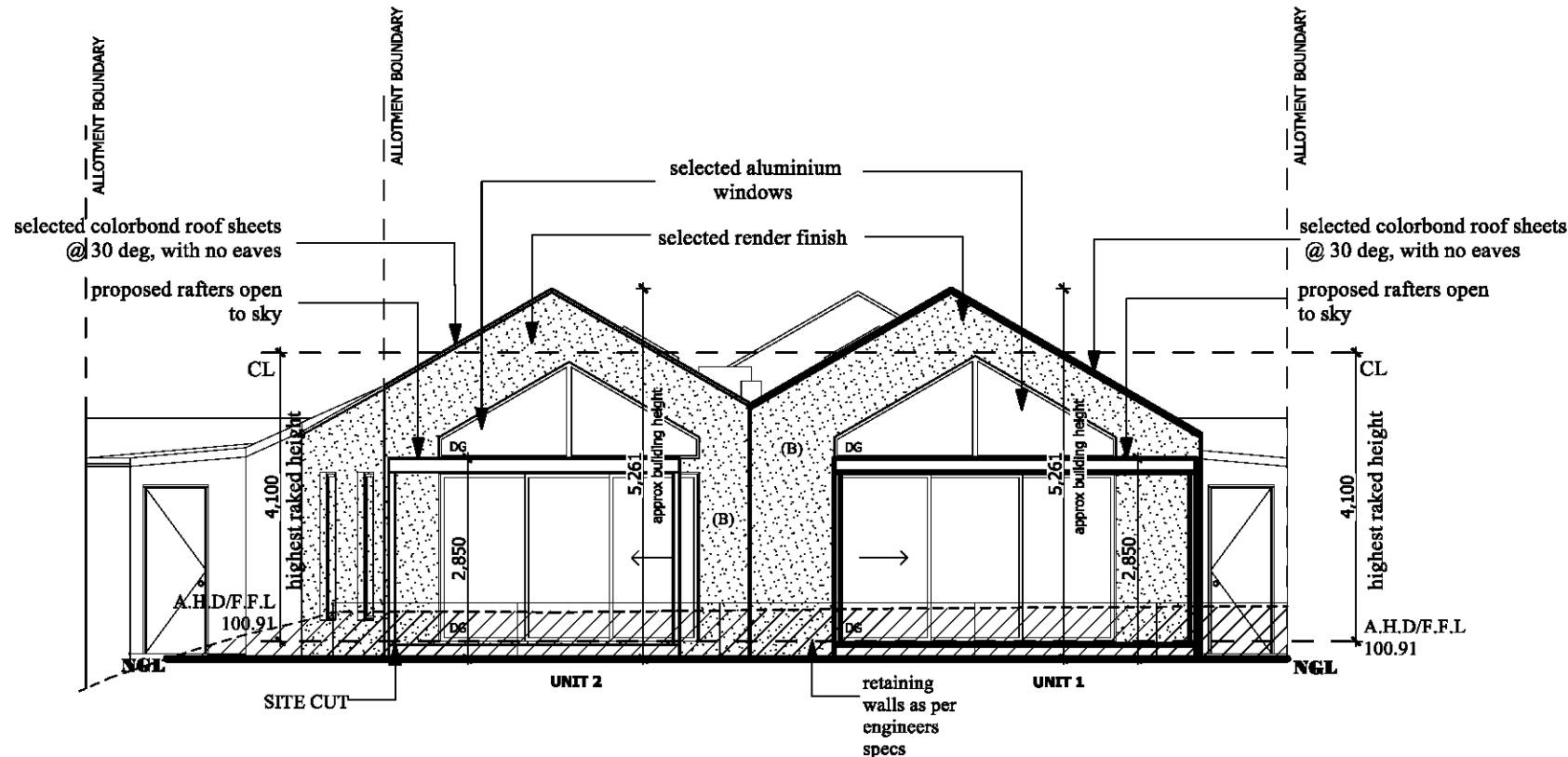
NOTE:
VISIBILITY SPLAYS TO EITHER SIDE OF THE CROSSOVER IN ACCORDANCE WITH CLAUSE 52.06-9 (EXCEPT WHERE THIS CANNOT BE ACHIEVED BY EXISTING STRUCTURES ON ADJOINING PROPERTIES)

NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A1
Do not scale: Customer must verify all dimensions on site before commencing any work or preparing drawings which must be approved by the superintendent before construction. Any extra material to work shown on this drawing must be claimed and approved before proceeding	2 X UNIT DEVELOPMENT 78 Cuthbert Street, Broadmeadows				
	CLIENT			SCALE:	AS NOTED
	PROPRIETOR			DRAW:	
				DATE:	14.05.2026
				DRAWING NO:	02 A1

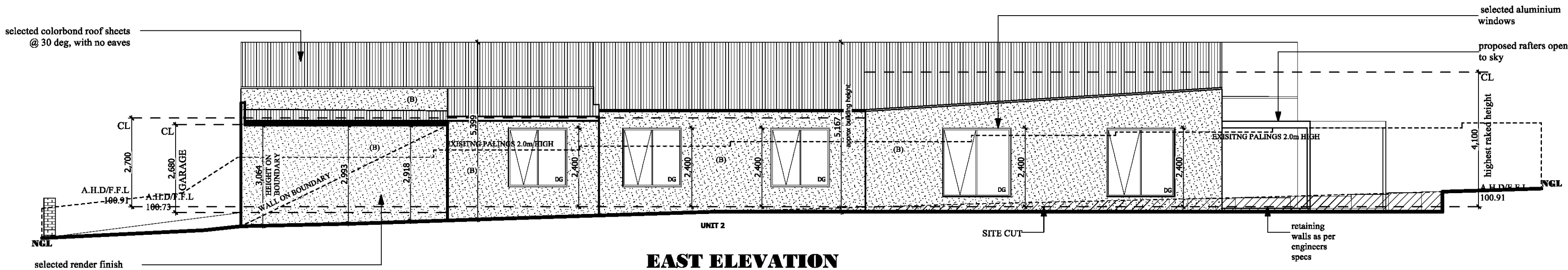
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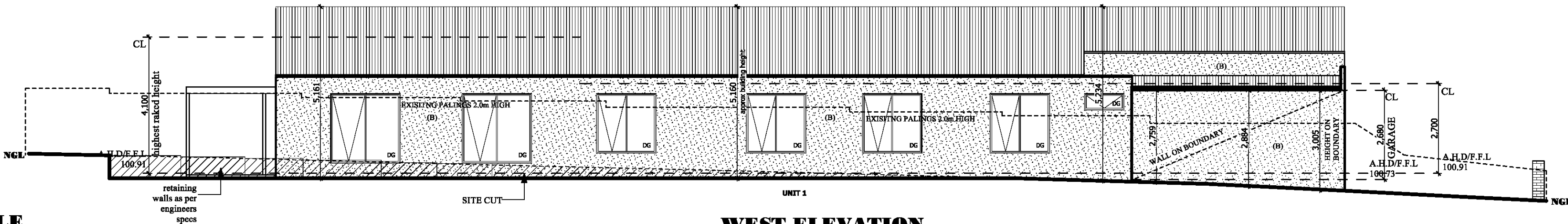
SOUTH ELEVATION
SCALE: 1:100



NORTH ELEVATION
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100

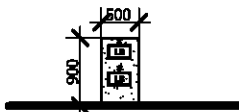


WEST ELEVATION
SCALE: 1:100

MATERIALS SCHEDULE

ITEM	COLOURS
WALLS EXTERNAL SURFACE	(A) WHITE CREAM BRICKS (B) - WHITE RENDER (C) JAMES HARDIE CLADDING
WINDOWS / DOORS	G/F - SURFMIST (POWDER COATED)
PANEL LIFT DOOR	(C) JAMES HARDIE CLADDING
CAPPING	SURFMIST (POWDER COATED)
CONCRETE DRIVEWAY	EXPOSED AGGREGATE - GREY
ROOF COLORBOND	TIMBER LOOK
ENTRANCE DOORS	SURFMIST (POWDER COATED)

OBS - DENOTES OBSCURED WINDOW



FRONT ELEVATION
SCALE 1:100
MAIL BOX DETAILS

NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A2
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	CLIENT			SCALE: AS NOTED	
	PROPRIETOR			DRAW:	
				DATE: 14.05.2026	
				DRAWING NO: 04 A2	

AREA ANALYSIS

GARDEN AREA 35% OF
SITE AREA = 245.92m²
PROPOSED GARDEN AREA=
(245.96m²)

LEGEND	
	GARDEN AREA
	CONCRETE AREA

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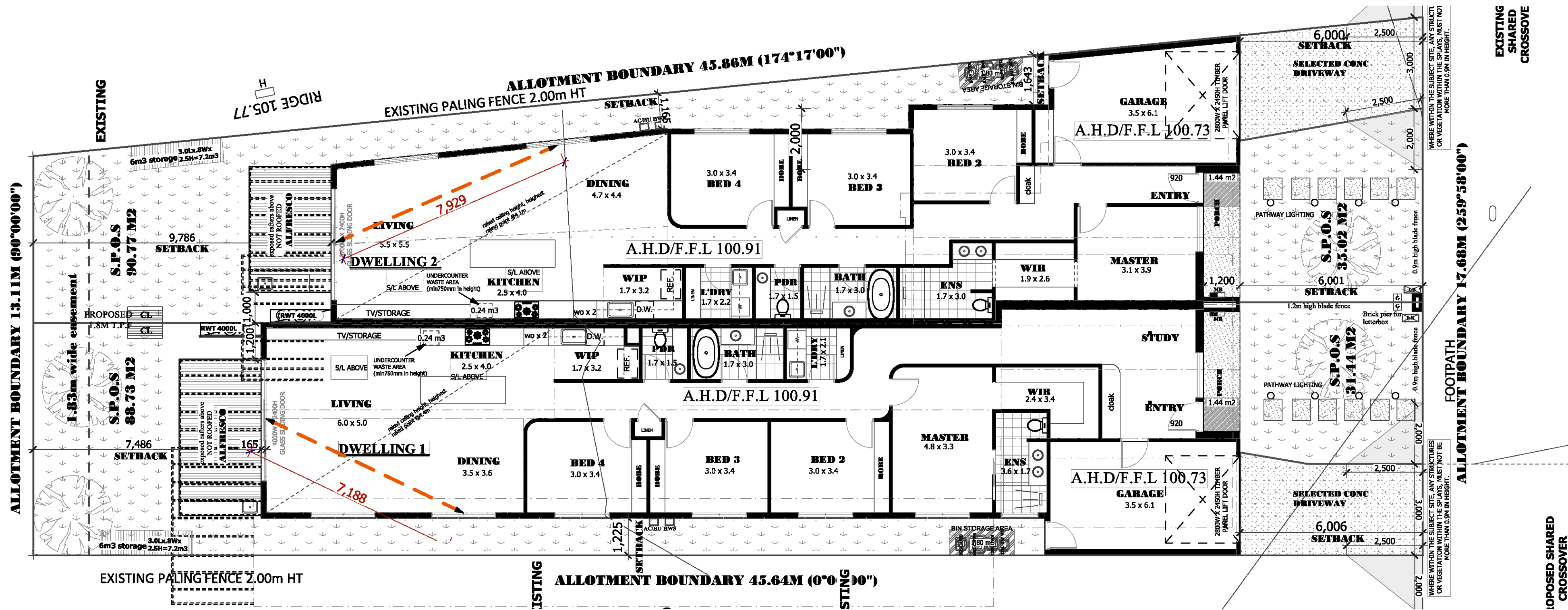


SITE LAYOUT / GARDEN PLAN

SCALE 1:100

	NOTES: Do not scale: Contractors must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the superintendent before manufacture. Any extra entitled in work shown on this drawing must be claimed and approved before proceeding	PROJECT/ADDRESS 2 X UNIT DEVELOPMENT 70 Cuthbert Street, Broadmeadows	REVISIONS	DATE:	SHEET SIZE: A2
		CLIENT			JOB NO: 482
					SCALE: AS NOTED
		PROPRIETOR			DRAW:
	copyright notice: these drawings are not to be copied in part or in whole with out the written consent of the author				DATE: 14.05.2026
				DRAWING NO:	03 A2

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**SITE LAYOUT / BREEZE PATH
DIAGRAM**

SCALE 1:100

NOTES:		PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A2
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		CLIENT			SCALE:	AS NOTED
		PROPRIETOR			DRAW:	
					DATE:	14.05.2026
					DRAWING NO:	04 A2

DWELLING 1			DWELLING 2			AREA ANALYSIS		
AREA:	m²	sq.	AREA:	m²	sq.	SITE AREA:	702.64m²	
ground floor:	189.43	20.39	ground floor:	175.97	18.94	BUILT UP AREA:	407.82m²	
garage:	24.38	2.62	garage:	26.27	2.83	CONCRETE AREA:(37.32m2)	434.89m2	
porch:	1.67	0.18	porch:	1.67	0.18	SITE COVERAGE:	58.04%	
Alfresco:	14.04	1.51	Alfresco:	13.24	1.43	PERMIBILITY:	30%	
						GARDEN AREA 35% OF SITE AREA = 245.92m²		
						PROPOSED GARDEN AREA= (245.96m²)		
TOTAL:	229.52	24.70	TOTAL:	217.15	23.38	TOTAL:	446.67m2	48.08sq.

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WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN.

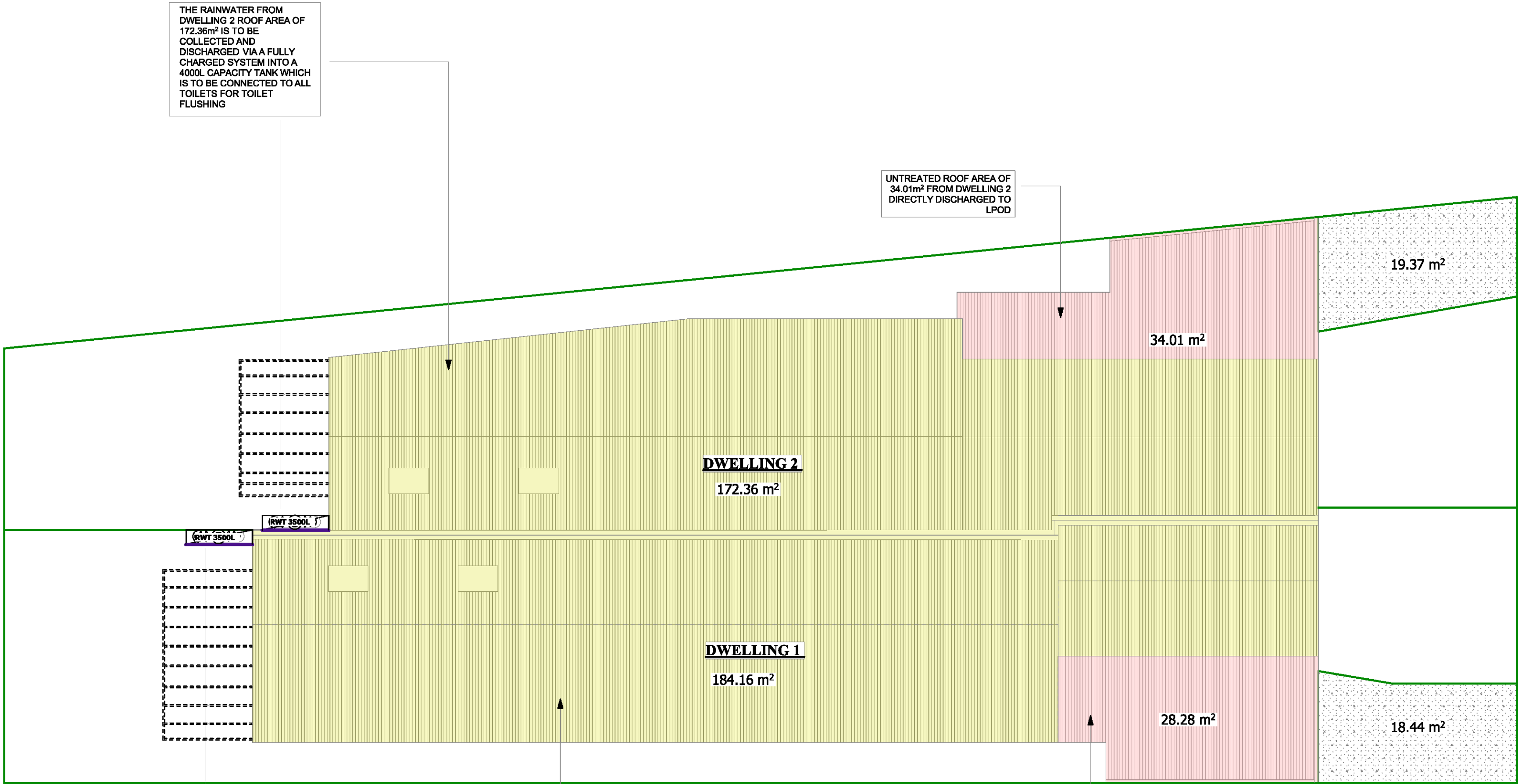
RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET. RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF RAINGARDENS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED.
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.



CUTHBERT STREET

LEGEND

ROOF AREA TO RAINWATER LPOD

ROOF AREA TO RAINWATER TANK

WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING

CONCRETE SURFACE

PARAPET WALLS

WSUD LAYOUT PLAN

NOTE:ALL SHADED AREAS INCLUDE GUTTERING,ROOFING,DOWNPIPES AND PARAPETS

Project # 122DFCA2

70 Cuthbert Street

Izzy Memili - izzy@etarchitecturedesign.com

70 Cuthbert St, Broadmeadows VIC 3047, Australia

11 May 2026 6:00 p.m.

BLUE FACTOR.

100% SCORE

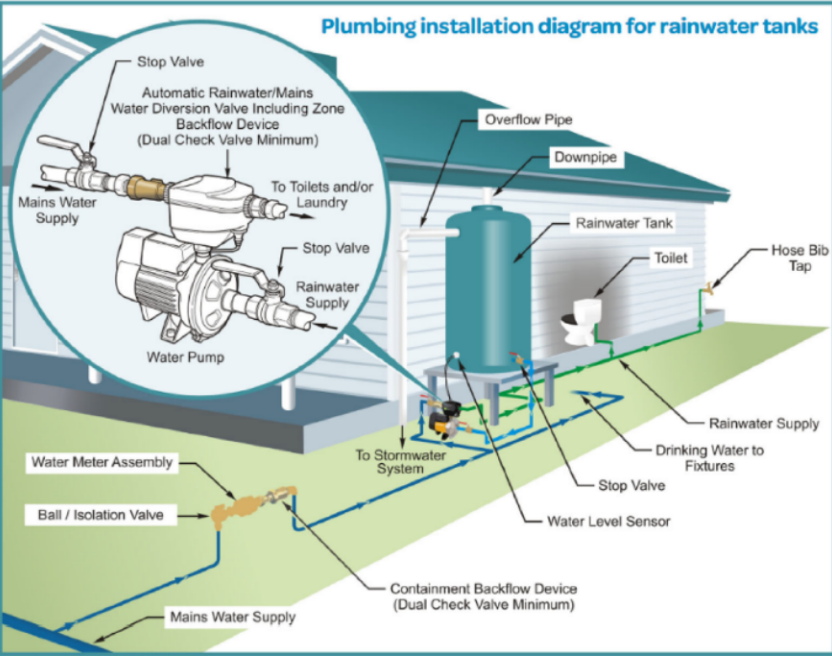
70 Cuthbert Street

The proposed stormwater treatments provide 'deemed to comply' compliance with the minimum planning requirement for total nitrogen but does not comply with all the relevant objectives for management of stormwater flows on-site.

Project details	70 Cuthbert Street
Name	70 Cuthbert Street
Project ID	122DFCA2
Street address	70 Cuthbert St, Broadmeadows VIC 3047, Australia
Municipality	Hume
Site area	702.64 m²
Planning Number	

Flow and pollutant load reductions

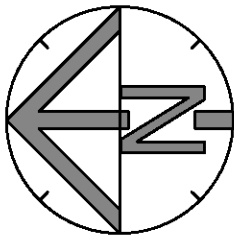
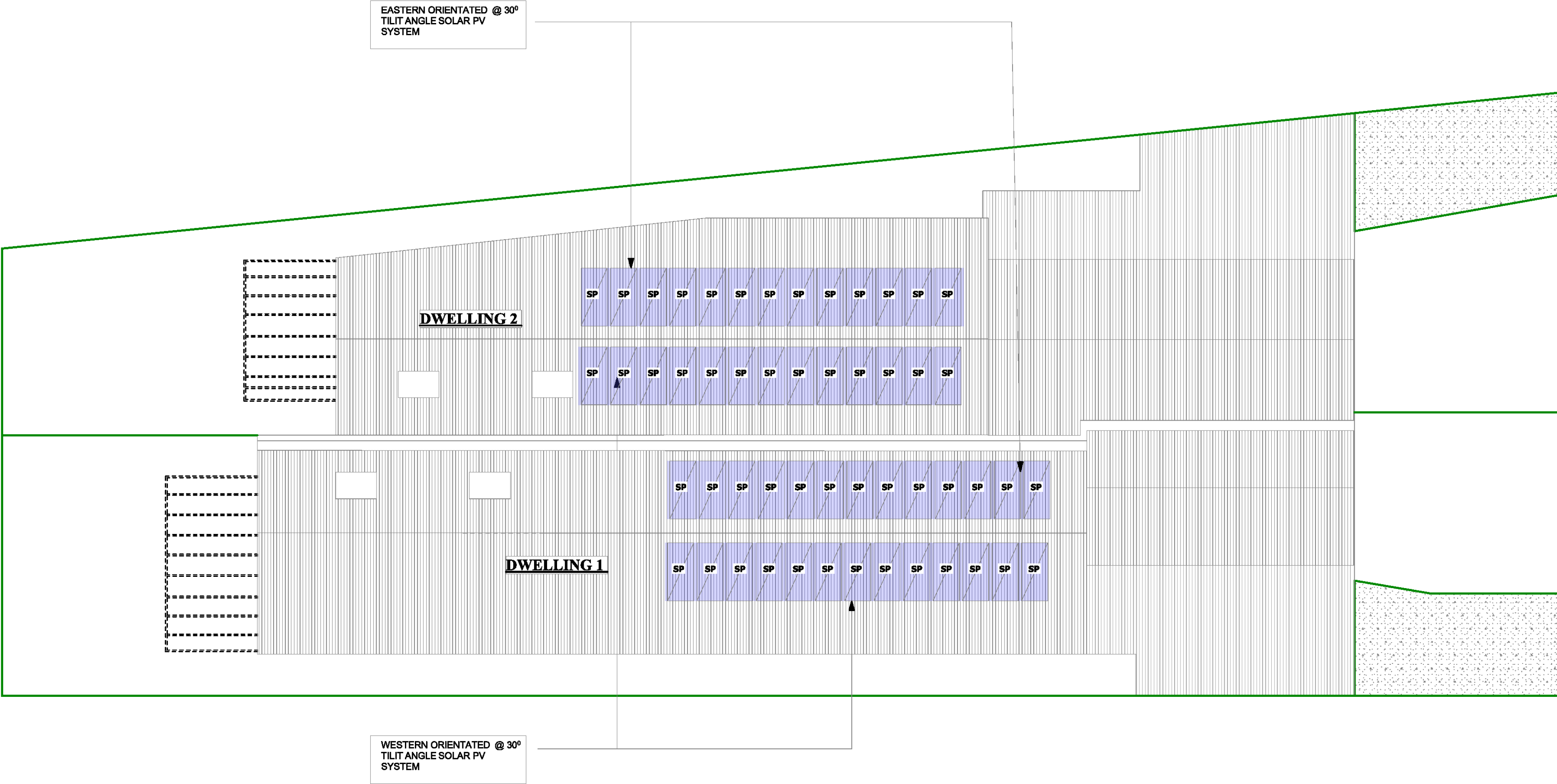
Item	Result	Target
Mean annual runoff volume harvested or evapotranspired (%)	40%	>29% ✓
Mean annual runoff volume infiltrated or filtered (%)	0%	>6% ✗
Total suspended solids (%)	60%	>80% ✗
Total phosphorus (%)	53%	>45% ✓
Total nitrogen (%)	45%	>45% ✓
Total gross pollutants (%)	76%	>70% ✓



NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A1
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	PROPRIETOR			DRAW:	
				DATE:	14.05.2026
				DRAWING NO:	05 A1

PV SOLAR
SYSTEM = Min
34sqm. Per Dwelling

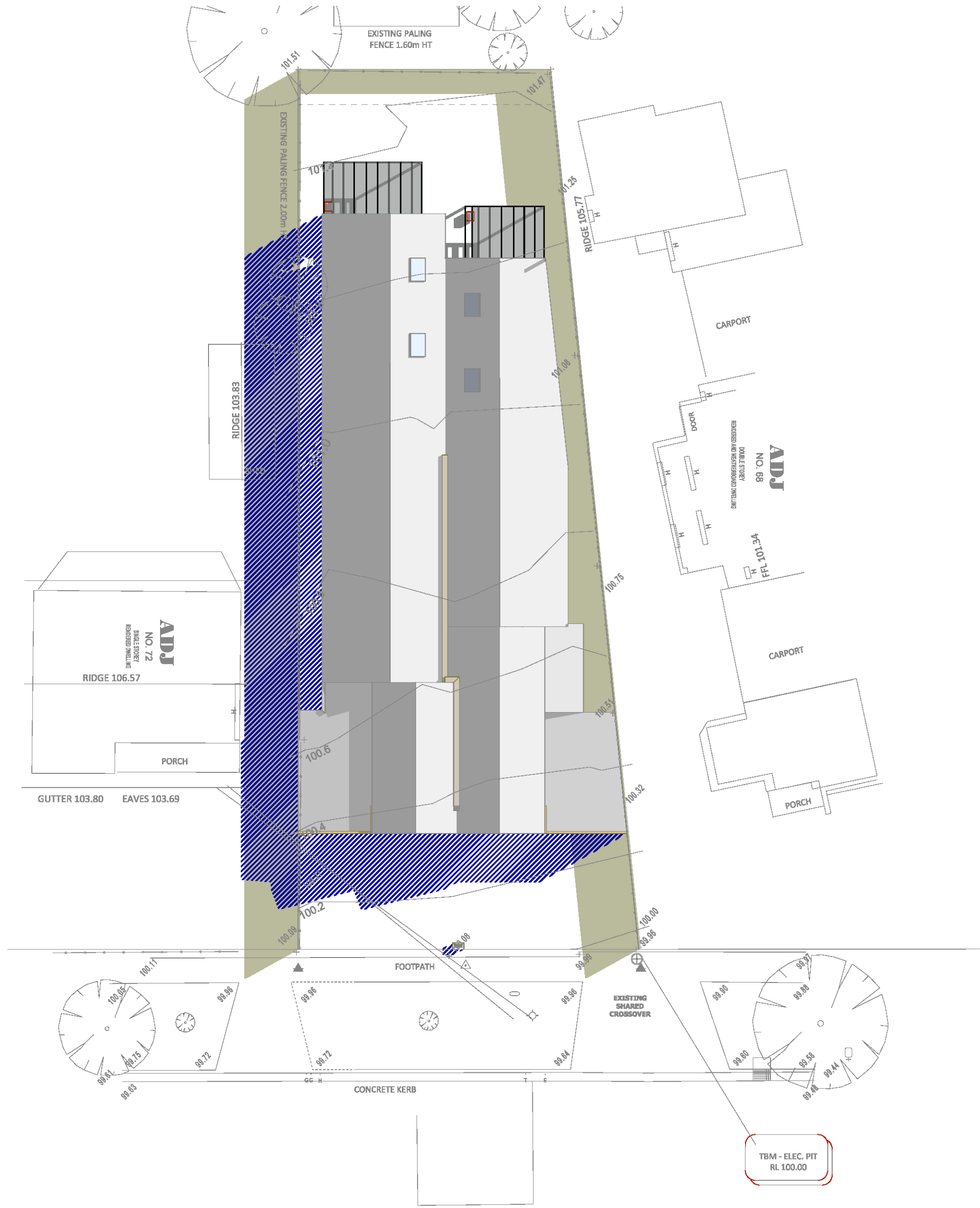
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SOLAR PV LAYOUT PLAN

NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A2
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				DATE:	14.05.2026
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CUTHBERT STREET



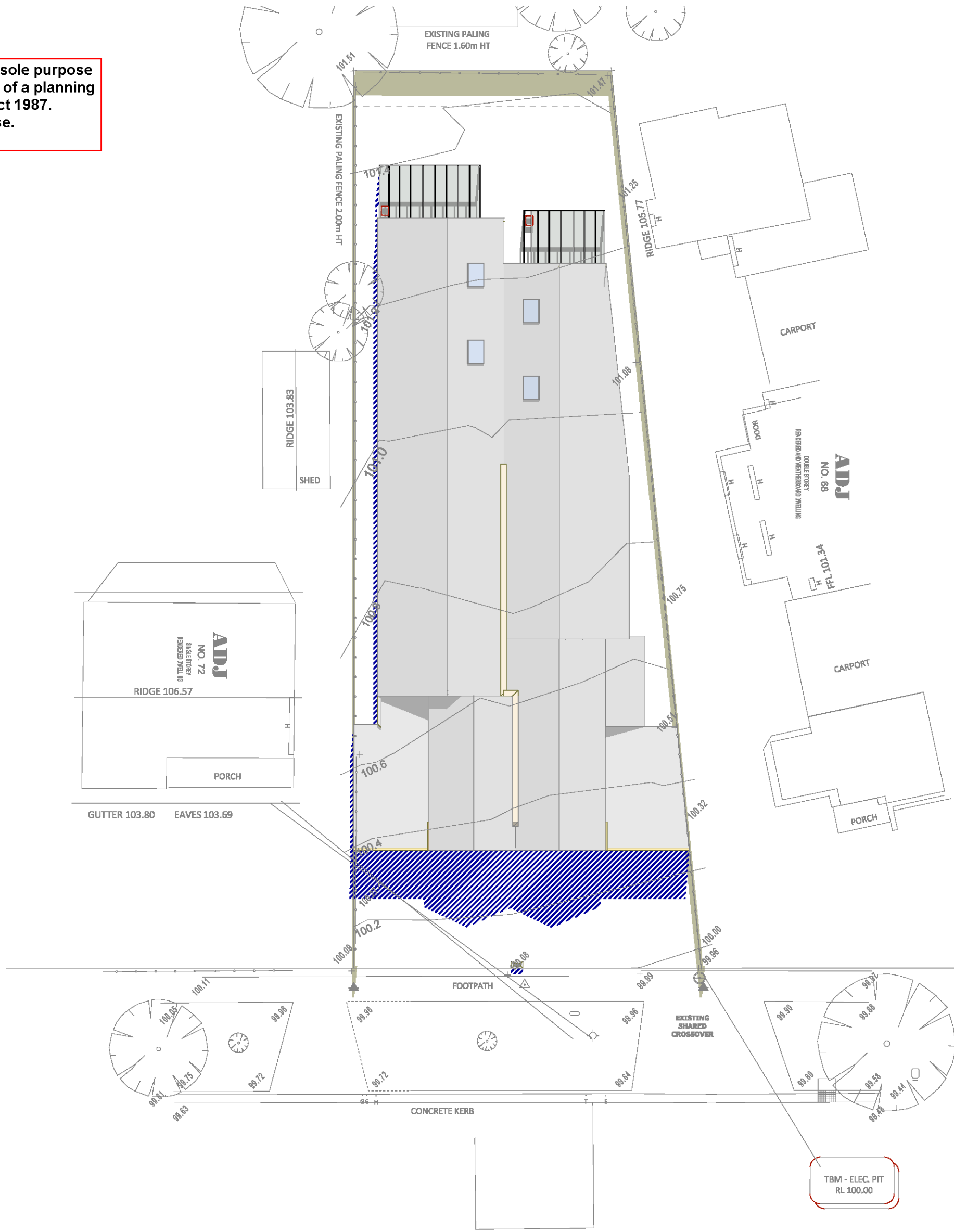
SUN SHADE DIAGRAM :
SEPTEMBER 22 - 9AM
SCALE: 1:200



PROPOSED DWELLING SHADOW



EXISTING FENCE SHADOWS



CUTHBERT STREET



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 12PM
SCALE: 1:200



PROPOSED DWELLING SHADOW



EXISTING FENCE SHADOWS

NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:	A2
	2 X UNIT DEVELOPMENT 70 Cuthbert Street, Broadmeadows			JOB NO:	482
	CLIENT			SCALE:	AS NOTED
	PROPRIETOR			DRAW:	
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				DRAWING NO:	05 A2

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CUTHBERT STREET



SUN SHADE DIAGRAM :
SEPTEMBER 22 - 3PM
SCALE: 1:200

- PROPOSED DWELLING SHADOW
- EXISTING FENCE SHADOWS

NOTES:

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CLIENT			SCALE:	AS NOTED
			DRAW:	
PROPRIETOR			DATE:	14.05.2026
			DRAWING NO:	06 A2

SUBGRADE PREPARATION
SITE PREPARATION TO BE CARRIED OUT IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER SUITABLE CONDITIONS.
DISTURBANCE
TO INDIGENOUS SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT
ACCEPTABLE. SUB-GRADE TO ALL LAWN AND PLANTED AREAS IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM AND SHAPED TO
ACHIEVE DRAINAGE FALLS PRIOR TO TOPSOILING. SUBGRADE TO BE TESTED PRIOR TO PREPARATION AND CONDITIONING TO DETERMINE
SALINITY AND GYPSUM REQUIREMENT. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED AT THE MANUFACTURERS RECOMMENDED RATE AND
CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. PROPOSED TOPPING AREAS TO BE GRADED / DRAINED TO PREVENT
WATER DISCHARGE INTO NEIGHBOURING PROPERTIES

IMPORTED
TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH S.A.A. 2223-1978, AND AS FOLLOWS:

- FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES
- FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH
- PH TO BE 6.0 - 7.0
- TEXTURE TO BE LIGHT TO MEDIUM FRIABLE LOAM
- FREE FROM SILT MATERIAL

IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING

SANDY LOAM LIGHTLY COMPACTED TO MINIMUM 100MM DEPTH

PLANTING PROCEDURE
IF SOIL TO PLANTING HOLE IS DRY - FILL WITH WATER AND ALLOW TO DRAIN COMPLETELY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF MATTED
OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING, ENSURING TOP OF THE
ROOTBALL
IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO
BRICKS, ROCKS OR FOREIGN MATERIAL - IF SUFFICIENT MATERIAL IS NOT AVAILABLE FORM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR
SOIL
TYPE
MUST BE SOURCED AND USED. SOIL MATERIAL MUST BE FIRMLY BACKFILLED IN LAYERS TO PREVENT LARGE AIR POCKETS FROM
OCCURRING.
THEN THOROUGHLY WATERED IN. TREES TO BE STAKED WITH TWO 2250MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND

STAKES MUST NOT BE PLACED THROUGH THE ROOTBALL AREA. TREES ARE TO BE SECURED TO EACH STAKE WITH A STRONG, SOFT AND FLEXIBLE MATERIAL, TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS - YET LOOSE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE TIE MATERIAL MUST NOT INJURE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER (3/6 MONTH FORMULATION) SUCH AS 'OSMOCOTE' IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDTH AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 90 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATER LOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

PLANT ESTABLISHMENT PERIOD
THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 13

WEEK ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER, PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE, MULCHING, STAKING AND TYING - 75MM MULCH DEPTH TO BE MAINTAINED AROUND TREE BASES THROUGHOUT MAINTENANCE PERIOD, WATERING - AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS, WEEDING - MAINTAINED IN A WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL MEAN, FERTILISING - 3/6 X MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES, REPLACEMENT OF DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD

IRRIGATION
AN IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED TO ALL GARDEN AREAS AND PLANTER BOXES (IF APPLICABLE) IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS

TIMBER EDGING
TIMBER EDGING TO BE 75MM X 25MM TREATED PINE SECURED TO 300MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM
SPACINGS WITH GALVANISED SCREWS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS
DRAINAGE
LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING
WORKS
INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF
WORKS

GENERAL

WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES.

CLIMBING PLANTS (IF APPLICABLE) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM

BASE TO TOP
DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION
PLANTS - QUALITY OF TREES AND SHRUBS
TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM INSECTS, DISEASES AND WEEDS. THE SPECIFIED PLANT HEIGHTS,
AND

POT SIZES ARE MINIMUMS. IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES, LARGER STOCK MUST BE USED. PLANT SUBSTITUTION IS NOT ACCEPTABLE UNLESS CONFIRMED BY THE RESPONSIBLE AUTHORITY IN WRITING. THE CONTRACTOR IS TO SUPPLY AND INSTALL SEMI-WOOD TREES WHICH MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SPECIFICATION, HAVE A MINIMUM TRUNK CALLIPER OF 50MM AT GROUND LEVEL, BE UNDAMAGED AND FREE OF DISEASES AND INSECT PESTS, NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF - THE CONTAINER, SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY. SHOW HEALTHY, VIGOROUS GROWTH

PROTECTION OF EXISTING TREES
ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN (SUBJECT SITE AND NEIGHBOURING PROPERTIES) TO BE RETAINED MUST BE SUITABLY MARKED BEFORE ANY DEVELOPMENT (INCLUDING DEMOLITION) COMMENCES ON THE LAND AND THAT VEGETATION MUST NOT BE

REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS (INCLUDING DEMOLITION) START, TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES (SUBJECT SITE AND NEIGHBOURING PROPERTIES) TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE

MEASURES AS PER AS 4970-2009 (TREE PROTECTION IN DEVELOPMENT SITES).
ANY PRUNING THAT IS REQUIRED MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF

PHYSIOLOGY AND PRUNING METHODS TO CARRY OUT PRUNING TO THE AUSTRALIAN STANDARD - AS 4373:2007 (PRUNING OF AMENITY TREES).

ALL TREE PROTECTION PRACTICES MUST BE IN ACCORDANCE WITH A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	CANOPY COVER 10% OF SITE AREA = 70.64sqm
A	4 metres	6 metres	12.6 sqm	PROPOSED CANOPY COVER AREA= (77.2sqm)
A	5 metres	6 metres	19.7 sqm	DEEP SOIL AREA REQUIRED TYPE A (4m diameter) 3 (5m diameter) 2 = 58sqm
TYPE A x 5 TOTAL= 77.2 sqm				PROPOSED DEEP SOIL AREA= 68.10sqm
TOTAL CANOPY COVER=77.2 sqm				

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NOTE: Trees are located in either:
An area of deep soil as specified in Table B2-7.2; or
A planter as specified in Table B2-7.2.

Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.

NOTE: Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

- i) A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree / s on the CULBERT STREET footpath.
- ii) The Protection Zone must be enclosed using a 2.0 metre High temporary cyclone fence or similar which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access and, a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
- iii) The Area within the Tree Protection Zone must not be disturbed by any means including parking of vehicles or storage of plant and equipment, materials, soil or waste.
- iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.

All grass and weed within the Tree Protection Zone must be removed and the areas mulched and irrigated.



LANDSCAPE PLAN

	CODE	BOTANICAL NAME	COMMON NAME	HEIGHT & WIDTH	POT SIZE	QTY
TREES	AIM	ACACIA IMPLEXA	LIGHTWOOD	6 m X 5m	2.0m @ THE TIME OF PLANTING	2
	ET	EUCALYPTUS TORQUATA	CORAL GUM	6m X 4m	1.5m @ THE TIME OF PLANTING	3
SHRUBS	DR	DIANELLA REVOLUTA	BLACK ANTHER FLAX LILLY	0.75m X0.75m	10cm IN HEIGHT @ THE TIME OF PLANTING	4
	BBC	BANKSIA "BIRTHDAY CANDLES"	BIRTHDAY CANDLES	0.6m X 1.0m	14cm	11
	CI	MEXICAN ORANGE BLOSSOM	CHOISYA TERNATA	0.9m X 0.9m	14cm	4
	ST	DWARF LILLYPILLY	SYZYGIUM 'TINY TREV'	.8m X .8	14cm	12

PROJECT 70 CUTHBERT STREET PROJECT - LANDSCAPE
ADDRESS 70 CUTHBERT STREET, BROADMEADOWS, 3047
DATE 13/05/2026
SHEET SIZE A1
SCALE 1:100
REV- 1

SOIL IS TO CONSIST OF WELL-BLENDED EXISTING / INDIGENOUS AND IMPORTED SOIL

SET ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLING

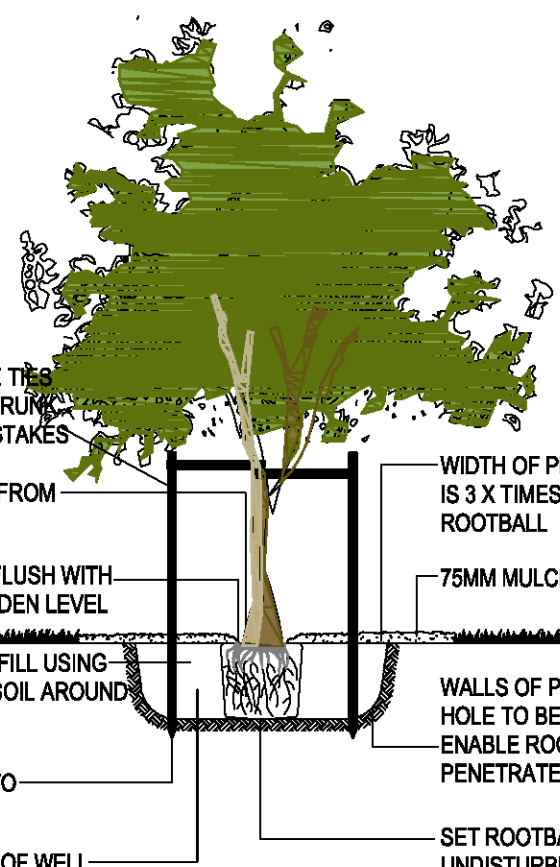


Diagram illustrating the correct method for planting a tree in a hole. The diagram shows a tree being planted in a hole with various instructions and labels:

- WIDTH OF PLANTING HOLE IS 2 X TIMES DIAMETER OF ROOTBALL
- KEEP MULCH AWAY FROM SHRUB STEM
- 75MM MULCH LAYER
- TOP OF ROOTBALL FLUSH WITH SURROUNDING GARDEN LEVEL
- GENTLY PACK BACKFILL—USING WATER TO SETTLE SOIL AROUND ROOTBALL
- WALLS OF PLANTING HOLE TO BE RIPPED TO ENABLE ROOTS TO PENETRATE SUBGRADE
- SOIL IS TO CONSIST OF WELL BLENDED EXISTING / INDIGENOUS AND IMPORTED SOIL
- SET ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLING

TOPPING / PEBBLE AREAS



75mm ORGANIC PINE BARK MULCH
400mm APPROVED MEDIUM LOAM SOIL
MIN 150mm DEEP ROTARY HOED
SUBGRADE



40MM COMPACTED DROMANA TOPPINGS /
30 TO 40MM RIVER PEBBLE
75MM COMPACTED FCR BASE
(NO COMPACTED FCR BASE AROUND
BASE OF EXISTING TREES)

SUBGRADE



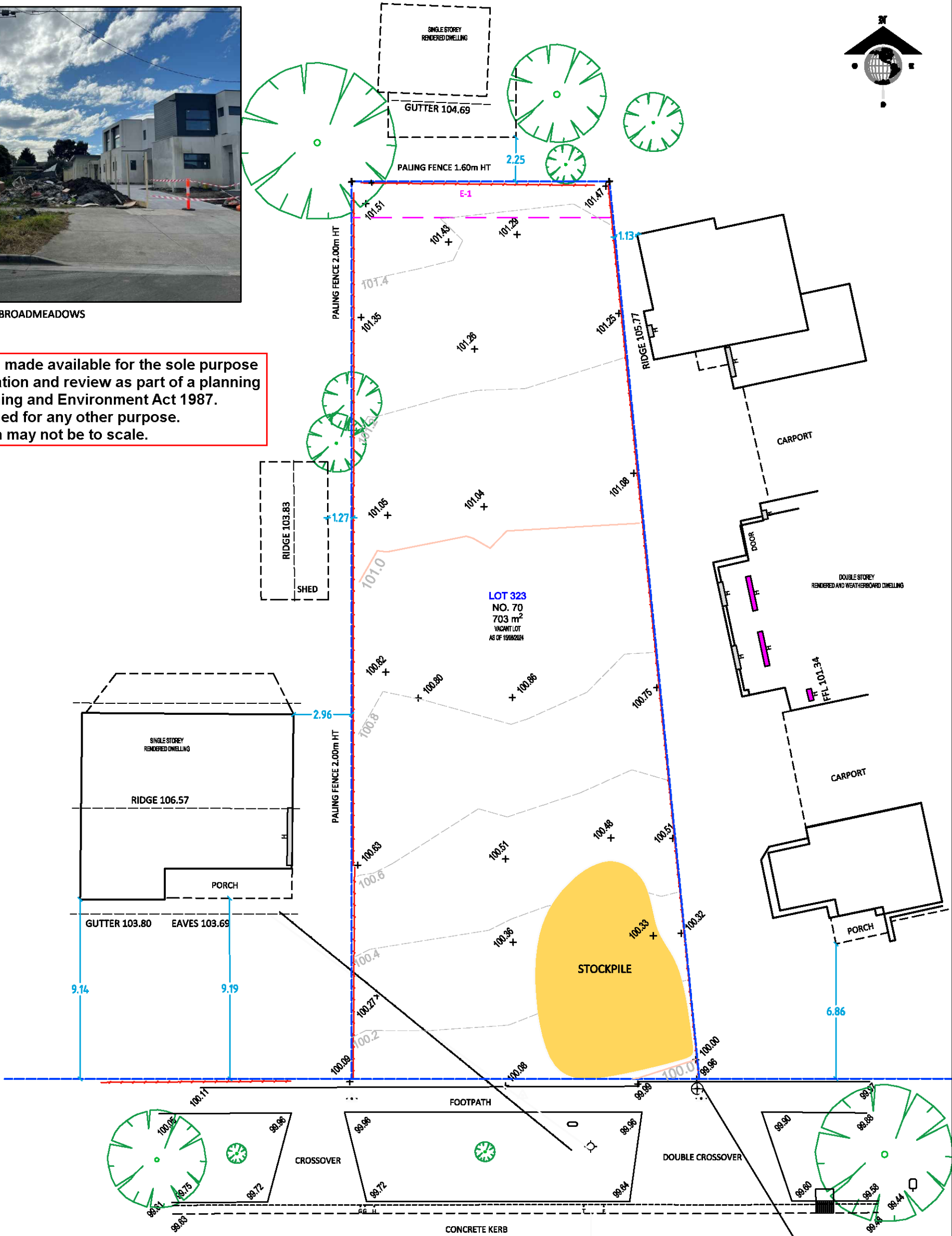
**STRATHAYR 'SIR WALTER SOFT LEAF
BUFFALO' OR SIMILAR INSTANT LAWN
100MM APPROVED SANDY LOAM SOIL
MIN 150mm DEEP ROTARY HOED
SUBGRADE**

-
- LAWN AREAS**
- PROPOSED CONCRETE AREAS**
- PROPOSED PAVER STEP-STONES WITH LILYDALE TOPPINGS**
- VISABILITY SPLAY**
- DEEP SOIL AREA**



LOT 323, 70 CUTHBERT STREET, BROADMEADOWS

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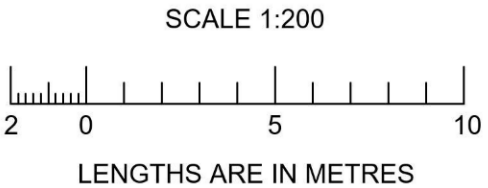
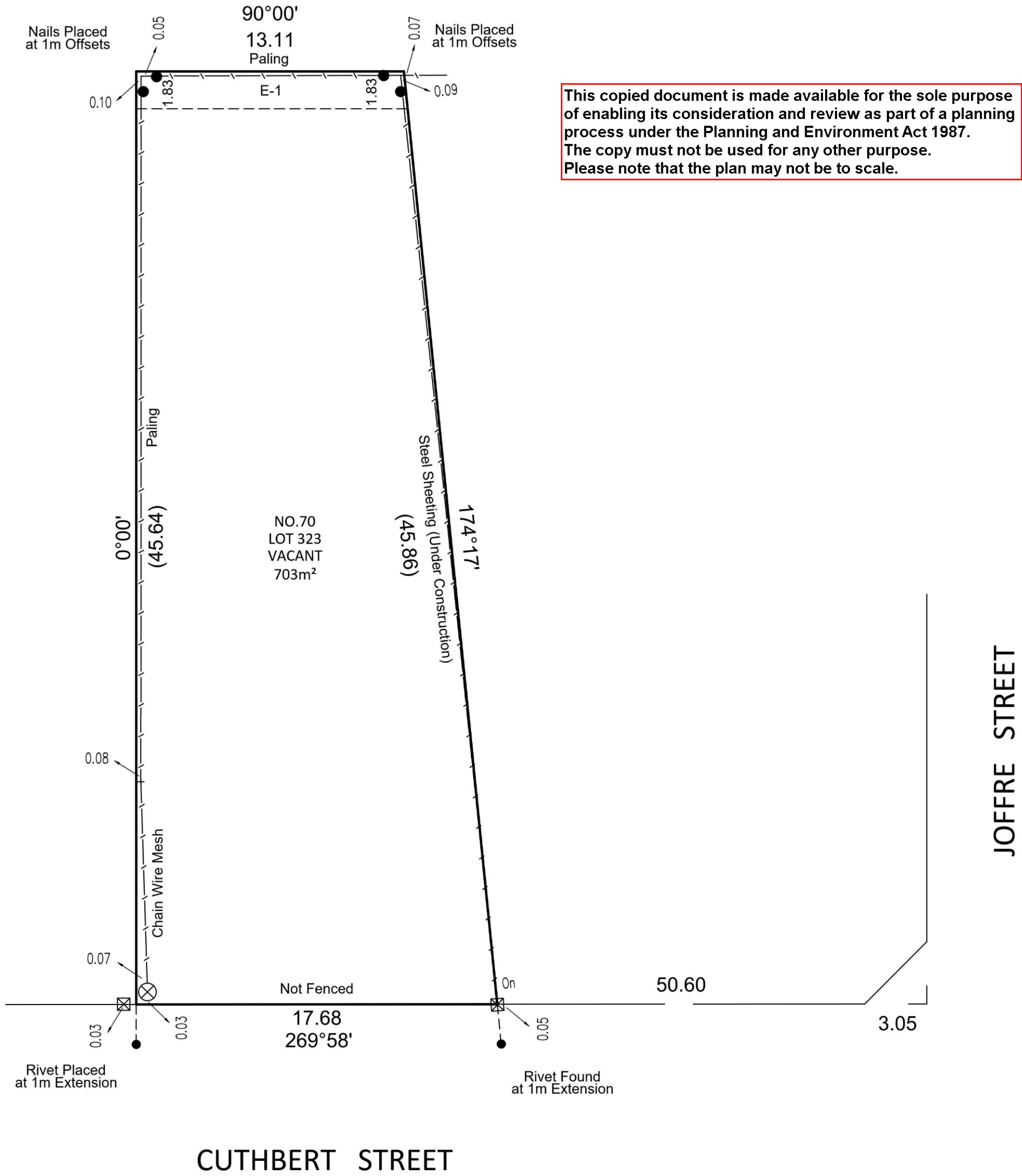
IS RE-ESTABLISHMENT REQUIRED:	NO	COMMENT:
ARE ALL TITLE PEGS ON BLOCK:	YES	COMMENT:
IF NOT,WHICH ONE IS MISSING:		COMMENT:
IS SUBDIVISION COMPLETE:	YES	COMMENT:
IS THERE ANY REASON LEVEL MAY CHANGE:	YES	COMMENT:STOCKPILE

CUTHBERT STREET

PLAN OF FEATURE AND LEVEL SURVEY

LOT 323, 70 CUTHBERT STREET, BROADMEADOWS	703 m ²
LP 59115	SCALE AT 1:200
REFERENCE NUMBER:2243007	VERSION A
	DATE :16/08/2024

HOUSE	HOUSE	HOUSE	HOUSE
RIDGE EDGE	RIDGE EDGE	RIDGE EDGE	RIDGE EDGE
EAVES	EAVES	EAVES	EAVES
RETAINING WALL	RETAINING WALL	RETAINING WALL	RETAINING WALL
FENCE	FENCE	FENCE	FENCE
SEWER PIT	SEWER PIT	SEWER PIT	SEWER PIT
INSPECTION CHAMBER	INSPECTION CHAMBER	INSPECTION CHAMBER	INSPECTION CHAMBER
JUNCTION PIT	JUNCTION PIT	JUNCTION PIT	JUNCTION PIT
SIDE ENTRY PIT	SIDE ENTRY PIT	SIDE ENTRY PIT	SIDE ENTRY PIT
WATER VALVE	WATER VALVE	WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
WATER METER	WATER METER	WATER METER	WATER METER
PROPERTY INLET	PROPERTY INLET	PROPERTY INLET	PROPERTY INLET
TELECOM PIT	TELECOM PIT	TELECOM PIT	TELECOM PIT
WATER METER	WATER METER	WATER METER	WATER METER
PROPERTY INLET	PROPERTY INLET	PROPERTY INLET	PROPERTY INLET
TELECOM PIT	TELECOM PIT	TELECOM PIT	TELECOM PIT



PLAN OF RE-ESTABLISHMENT SURVEY

70 Cuthbert Street
Broadmeadows VIC 3047
Lot 323 on LP59115
Volume 8728 Folio 588

PAPER SIZE: A3 REF NO.: 2243007 VERSION 1

NOTATIONS

Occupation and Title Marks shown may have been exaggerated for clarity, and thus only Title is shown to scale

Possessory rights may have accrued where occupation does not coincide with the Title boundaries

E-1: 1.83m wide Drainage, Sewerage and Gas Supply Easement in favour of Lots on LP15842